

SUMMIT POINTE PRELIMINARY PLAT

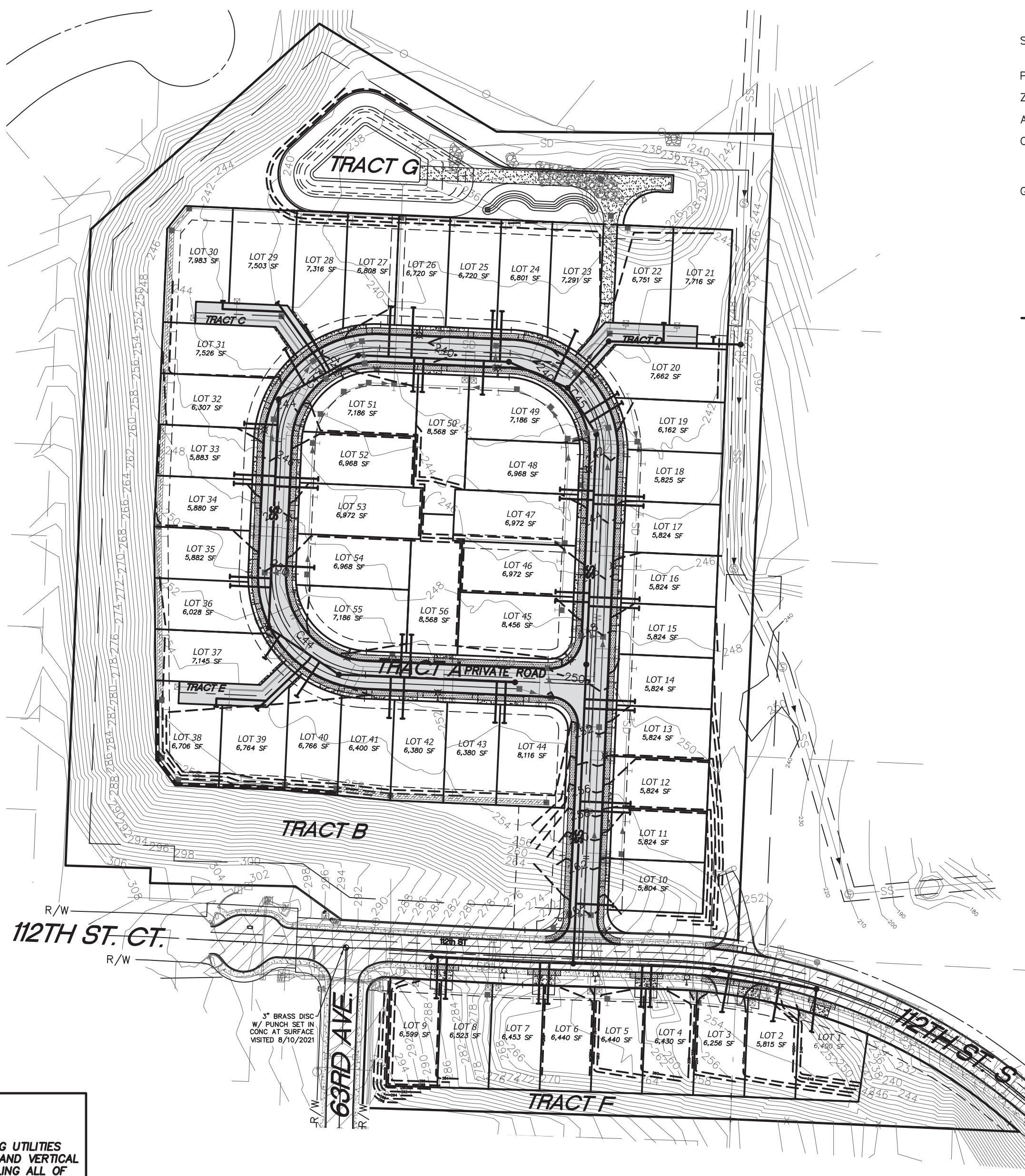
SECTION 25, TOWNSHIP 22 N, RANGE 01 E

CONCEPTUAL PLANS

City PROJECT No. PL-PLATT-21-0002
Firm's PROJECT No. 9700

PROJECT NOTES

2016 EDITION STORMWATER DESIGN MANUAL USED
2018 EDITION PUBLIC WORKS STANDARDS USED
SITE EARTHWORK CUT & FILL VOLUMES:
~CUT = 25,881 CY
~FILL = 27,430 CY



REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY
1	8/9/2022	REV. PER CITY COMMENTS 8/2/2022	GJM
2	10/26/2022	REV. PER CITY COMMENTS 9/15/2022	GJM
3	3/10/2023	REV. PER CITY COMMENTS 1/23/2023	GJM
4	5/19/2023	REV. PER CITY COMMENTS 5/16/2023	GJM

CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

UTILITY CONFLICT NOTE:
CAUTION:
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHoling THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POTHoling ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

SITE DATA

OWNER/APPLICANT: RUSH RESIDENTIAL, INC.
6622 WOLLOCHET DR, GIG HARBOR, WA 98335
(253) 858-3636

SITE ADDRESS: 6302 112TH ST CT, GIG HARBOR, WA 98332
11302 BURNHAM DR, GIG HARBOR, WA 98332

PARCEL NUMBERS: 0122253072, 0122253074, 0122254092

ZONING: MEDIUM-DENSITY RESIDENTIAL (R-2)

ARCHITECT: RUSH RESIDENTIAL, INC.

CIVIL ENGINEERS/SURVEYORS: LARSON & ASSOCIATES, INC.
9027 PACIFIC AVE #4, TACOMA, WA 98444
(253) 474-3404

GEOTECHNICAL ENGINEERS: GEORESOURCES
4809 PACIFIC HIGHWAY EAST, FIFE, WA 98424
(253) 896-1011

SERVICES/UTILITIES

INTERNAL CIRCULATION:
PROPOSED SEWER: PRIVATE ROADS
WATER: CITY OF GIG HARBOR
ELECTRIC POWER: WASHINGTON WATER
NATURAL GAS: PUGET SOUND ENERGY
TELEPHONE: PUGET SOUND ENERGY
CABLE TV: COMCAST/CENTURY LINK
SCHOOLS: COMCAST/CENTURY LINK
FIRE PROTECTION: PENINSULA SCHOOL DISTRICT 401
GIG HARBOR FIRE AND MEDIC ONE

TOTAL ON-SITE AREA BREAKDOWN

TOTAL AREA = 16.72 ACRES
IMPERVIOUS AREA = 6.74 ACRES
ROAD/C&G/SIDEWALK = 1.85 ACRES
ROOFS = 3.86 ACRES (56 LOTS @ 3,000 SF/EA)
DRIVES = 0.90 ACRES (56 LOTS @ 700 SF/EA)
POND ACCESS ROAD = 0.13 ACRES
PERVIOUS AREA = 9.98 ACRES
YARDS = 4.70 ACRES
TRACT B = 5.28 ACRES



PRELIMINARY

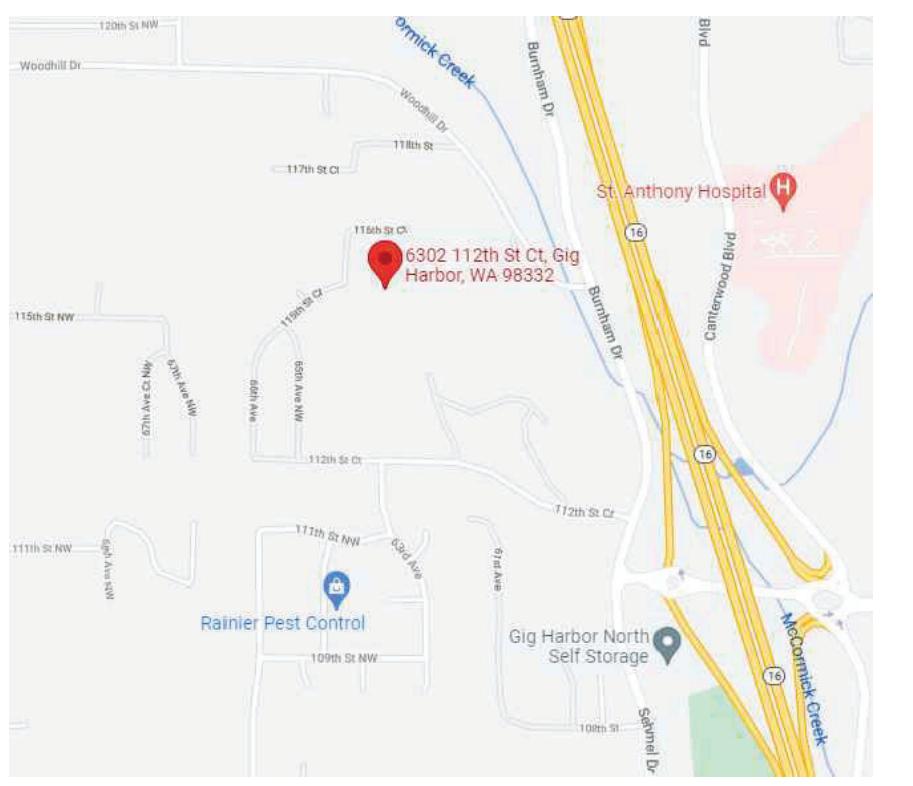
LARSON and ASSOCIATES
surveyors, engineers & planners
9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA 98444 (253) 474-3404

VERTICAL DATUM (WSRN)
NAVD 88 ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M.#4 3" BRASS DISC W/ PUNCH SET IN CONC AT SURFACE VISITED 8/10/2021 ON 112TH ST & 63RD AVE ELEV. 292.69
CONTOUR INTERVAL=2'
TOPOGRAPHIC PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM
NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

- 2018 CITY OF GIG HARBOR PUBLIC WORKS STANDARDS
- 2016 CITY OF GIG HARBOR STORMWATER MANAGEMENT & DEVELOPMENT MANUAL

ENLARGED VICINITY MAP

SCALE: N.T.S.



SHEET INDEX

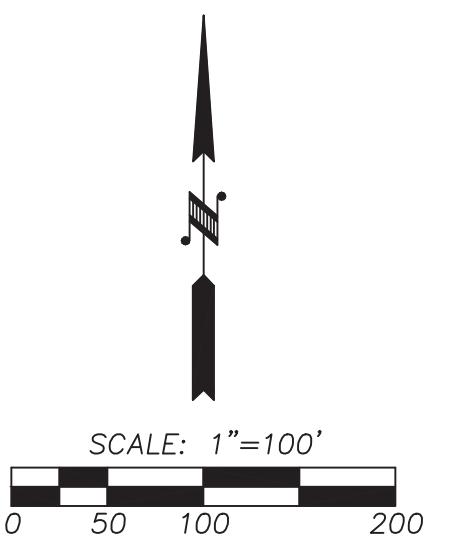
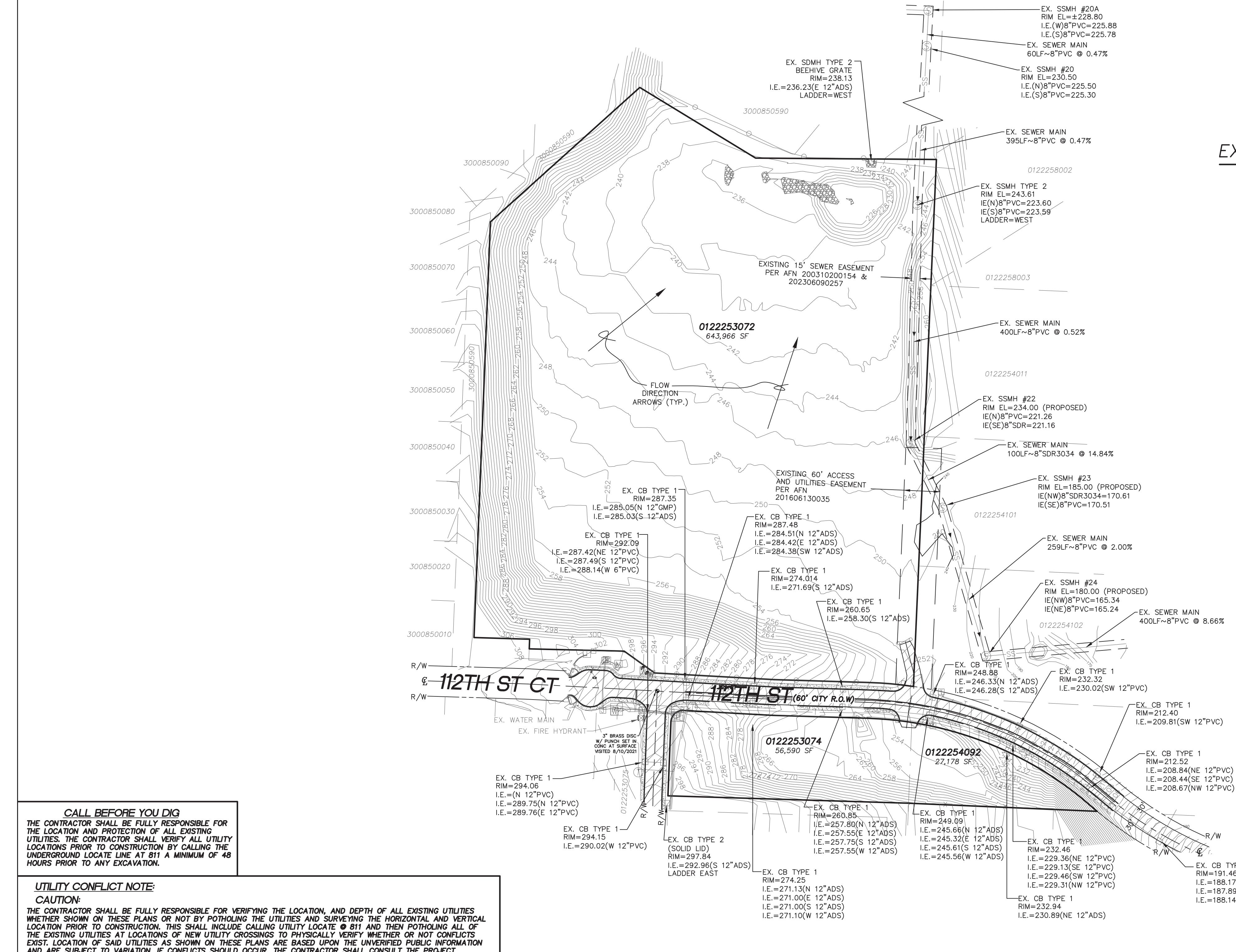
SHEET 01-CVR	COVER SHEET
SHEET 02-EX	EXISTING CONDITIONS
SHEET 03-SP 1	SITE PLAN & TENTATIVE PLAT 1
SHEET 04-SP 2	SITE PLAN & TENTATIVE PLAT 2
SHEET 05-SP 3	SITE PLAN & TENTATIVE PLAT 3
SHEET 06-SP 4	SITE PLAN & TENTATIVE PLAT 4
SHEET 07-SP 5	SITE PLAN & TENTATIVE PLAT 5
SHEET 08-SP 6	NOTES & DETAILS
SHEET 09-SIGHT 1	112TH ST S INTERNAL ROAD INTERECTION SIGHT DISTANCE EXHIBIT
SHEET 10-SIGHT 2	112TH ST S WEST DRIVEWAY SIGHT DISTANCE EXHIBIT
SHEET 11-SIGHT 3	112TH ST S EAST DRIVEWAY SIGHT DISTANCE EXHIBIT
SHEET 12-SIGHT 4	TRACT A (PRIVATE ROAD) SIGHT DISTANCE EXHIBIT
SHEET 13-CI 1	CIRCULATION 1
SHEET 14-CI 2	CIRCULATION 2
SHEET 15-CI 3	CIRCULATION 3
SHEET 16-R1	GRADING, DRAINAGE, & EROSION CONTROL 1
SHEET 17-R2	GRADING, DRAINAGE, & EROSION CONTROL 2
SHEET 18-R3	GRADING, DRAINAGE, & EROSION CONTROL 3
SHEET 19-R4	GRADING, DRAINAGE, & EROSION CONTROL 4
SHEET 20-R5	TRACT A (PRIVATE ROAD) PROFILE VIEW STA:0+00 TO 10+00
SHEET 21-R6	TRACT A (PRIVATE ROAD) PROFILE VIEW STA:10+00 TO 15+92.72
SHEET 22-UTIL 1	COMPOSITE UTILITY 1
SHEET 23-UTIL 2	COMPOSITE UTILITY 2
SHEET 24-UTIL 3	COMPOSITE UTILITY 3
SHEET 25-UTIL 4	COMPOSITE UTILITY 4
SHEET 26-OSE	EXISTING OFFSITE SEWER EXTENSION
SHEETS 27-33	ILLUMINATION DESIGN PLAN SET FROM HERMAN TRAFFIC ENGINEERING



ISSUED FOR CONSTRUCTION
CITY ENGINEER _____
DATE: _____

SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
EXISTING CONDITIONS



Summit Pointe Preliminary Plat
PL-PLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

NAVD 88 ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M.#4 3" BRASS DISC W/ PUNCH SET IN CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'

TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	EASEMENT
	RIGHT OF WAY LINE
	EXISTING EDGE OF PAVEMENT
	PROPERTY ADJOINER LINE
	EXISTING INTERNAL PROPERTY LINE
	RIGHT OF WAY CENTERLINE
	ROAD CENTERLINE
	EXISTING WOOD FENCE
	EXISTING CHAIN LINK FENCE
	EXISTING WIRE FENCE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING TELEPHONE LINE
	EXISTING POWER LINE
	EXISTING GAS PIPE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER TRANSFORMER
	EXISTING JUNCTION BOX
	EXISTING POWER METER
	EXISTING POWER VAULT
	EXISTING CATCH BASIN
	EXISTING WATER METER
	EXISTING IRRIGATION BOX
	EXISTING WATER VALVE
	EXISTING WATER BLOWOFF
	EXISTING HOSE BIB
	EXISTING TELEPHONE VAULT
	SOIL STOCKPILE AREA (APPROX.)
	EXISTING BOLLARD
	TEMPORARY BENCH MARK
	EXISTING RIP RAP
	EXISTING CONCRETE SIDEWALK
	EXISTING PAVEMENT

PRELIMINARY

REVISIONS	
1. REV. PER CITY COMMENTS 8/2/2022	
2. REV. PER CITY COMMENTS 9/15/2022	
3. REV. PER CITY COMMENTS 1/23/2023	
4. REV. PER CITY COMMENTS 5/16/2023	

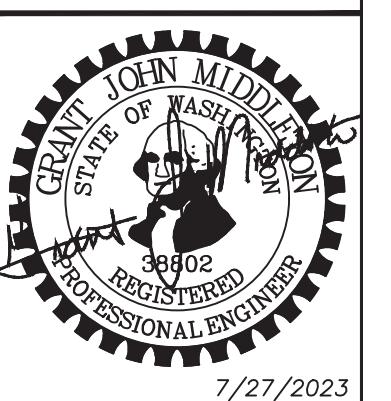
LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

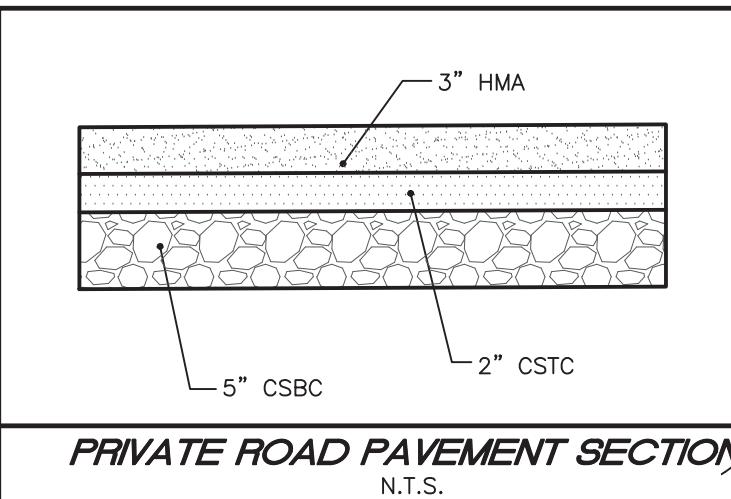
DESIGNED BY: JC
DRAWN BY: PB
CHECKED BY: JC
APPROVED BY: --
SCALE: AS SHOWN
OTHER: --

SUMMIT POINTE CONCEPTUAL PLAN

EX	PERMIT NO. PL-PLAT-21-0002
EXISTING CONDITIONS	DRAWING NO. 9700
	SHEET OF 2 33



SITE DATA	
GROSS PROJECT AREA:	727,734 SF. (16.71 AC)
NET DEVELOPABLE AREA:	643,173 SF (14.77 AC)
PROPOSED NDA DENSITY:	3.79 DWELLING UNITS PER ACRE
MINIMUM LOT SIZE ALLOWED:	5,800 SF
MINIMUM LOT WIDTH:	0.7% OF LOT AREA, IN LINEAL FT.
MAX HARD SURFACE COVERAGE:	60% OF TOTAL LOT AREA
MINIMUM LOT SIZE PROPOSED:	5,804 SF
AVERAGE LOT SIZE PROPOSED:	6 DWELLING UNITS PER ACRE
MAXIMUM DENSITY ALLOWED:	NO MINIMUM
MINIMUM DENSITY ALLOWED:	ODU'S/AC. (0 WHEN ROUNDED)
PROPOSED DENSITY:	56
NO OF LOTS PROPOSED:	2 PER DWELLING UNIT
INTERNAL CIRCULATION:	PRIVATE ROAD
TRACT A:	PRIVATE ROAD/GUEST PARKING & EVA EASEMENT
TRACT B:	LANDSCAPE & OPEN-SPACE
TRACT C:	SHARED ACCESS & UTILITY TRACT
TRACT D:	SHARED ACCESS & UTILITY TRACT
TRACT E:	SHARED ACCESS & UTILITY TRACT
TRACT F:	OPEN-SPACE
TRACT G:	STORM UTILITY TRACT
SETBACKS:	
FRONT	20 FT
HOUSE	12 FT
PORCH	26 FT
GARAGE	8 FT
SIDE	30 FT
REAR	



SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
"OVERALL" SITE PLAN AND TENTATIVE PLAT

TRACT A:
PRIVATE ROAD/GUEST PARKING & EVA EASEMENT

TRACT B:
LANDSCAPE & OPEN-SPACE

TRACT C:
SHARED ACCESS & UTILITY TRACT

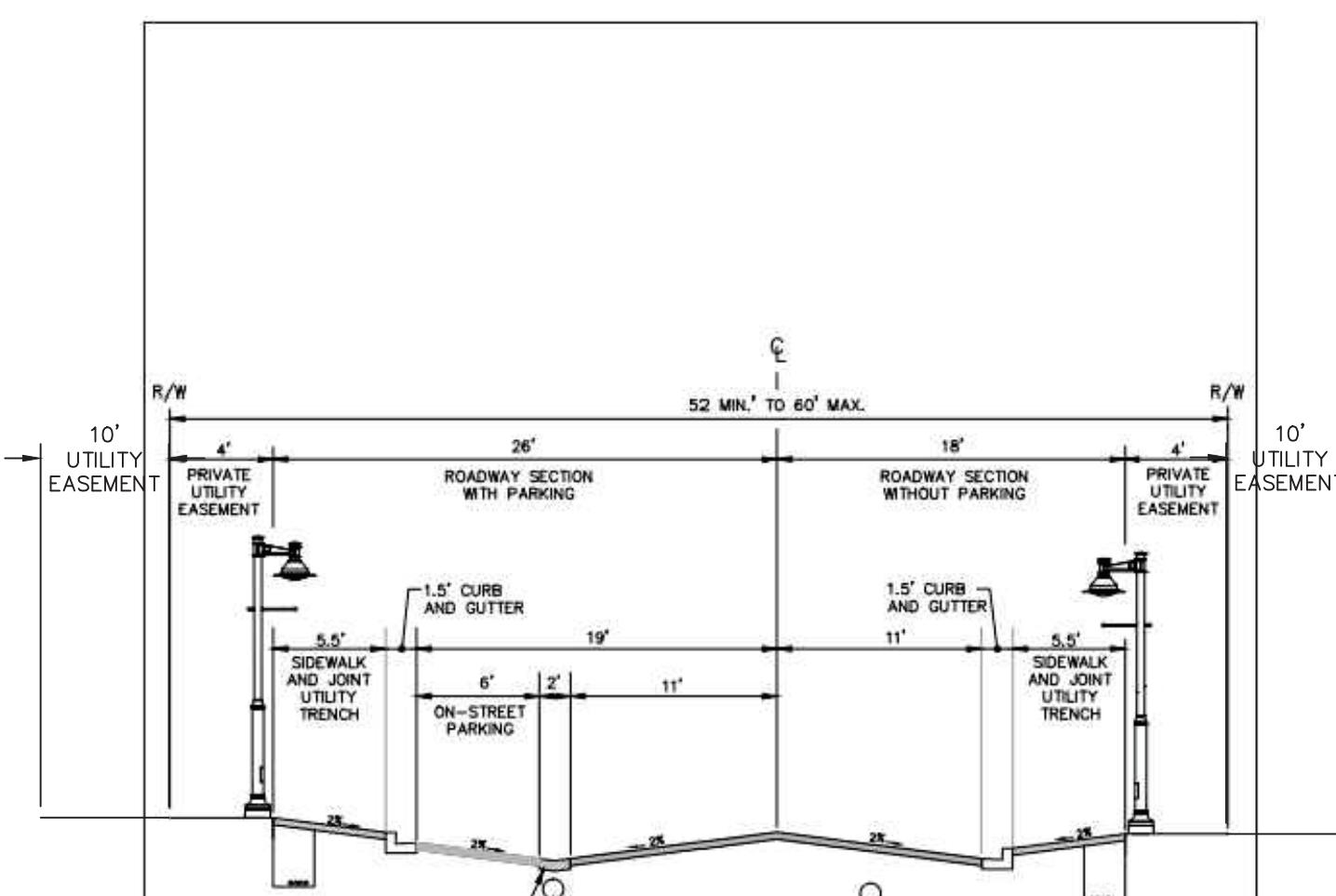
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SHARED ACCESS & UTILITY TRACT

TRACT E:
SHARED ACCESS & UTILITY TRACT

TRACT F:
OPEN-SPACE

TRACT G:
STORM UTILITY TRACT

SETBACKS:
FRONT 20 FT
HOUSE 12 FT
PORCH 26 FT
GARAGE 8 FT
SIDE 30 FT
REAR



NOTES:
1. ON-STREET PARKING MAY BE DELETED IF SEPARATE TRACTS ARE DEDICATED TO PARKING WITHIN THE PROPOSED DEVELOPMENT.
2. ON-STREET PARKING IS ALLOWED ON ONE SIDE OF STREET ALLOWED IF UNITS ARE "SIDE-LOADED" AND IF PERMITTED BY THE CITY ENGINEER.
3. VERTICAL CURB AND GUTTER COUPLING WITH DETAIL 2-13 FOR BOTH SIDES OF STREET.
4. DESIGN SPEED SHALL BE CONSISTENT WITH ADJACENT LAND USE.
5. SEE DETAIL 2-13 FOR PAVEMENT DESIGN CONSTANTS.

CITY OF GIG HARBOR ENGINEERING DIVISION
ROADWAY SECTION PRIVATE
DETAIL NO. 2-08
APPROVED FOR PUBLICATION CITY ENGINEER DATE JULY, 2018



112TH ST. S ROAD SECTION NOTE
SEE CITY OF GIG HARBOR DETAIL 2-06 ON SHEET SP6 FOR ROAD SECTION DETAIL

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LARSON and ASSOCIATES
surveyors, engineers & planners

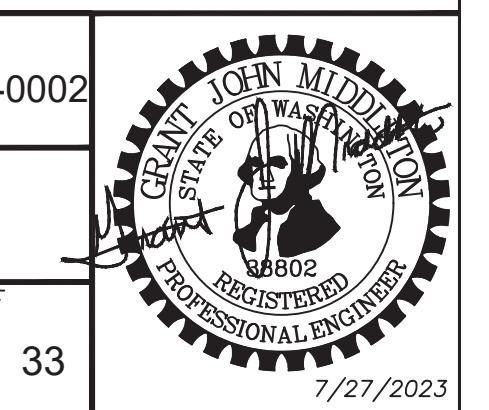
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TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY: JC
DRAWN BY: PB
CHECKED BY: JC
APPROVED BY: --
SCALE: AS SHOWN
OTHER: --

SUMMIT POINTE CONCEPTUAL PLAN

SP 1
SITE PLAN &
TENTATIVE PLAT
1
3 33

PERMIT NO.
PL-PLATT-21-0002
DRAWING NO.
9700
SHEET OF
3 33
7/27/2023



Summit Pointe Preliminary Plat
PL-PLATT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2' TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

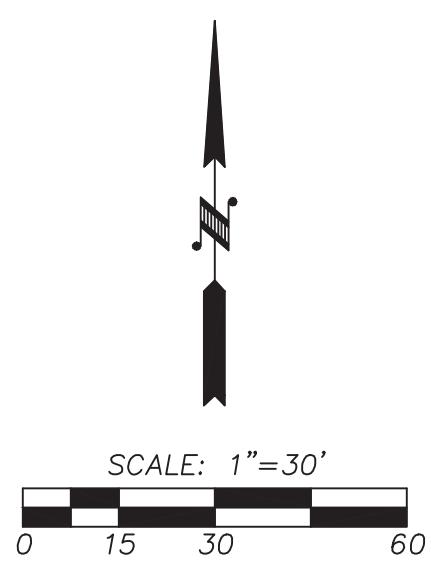
P	PROPERTY LINE
123	EXISTING CONTOUR
— 123	PROPOSED CONTOUR
— 123	PROPOSED BUILDING SETBACK LINES
— — —	EASEMENT
— — —	RIGHT OF WAY LINE
— — —	PROPOSED EDGE OF PAVEMENT
— — —	PROPERTY ADJOINER LINE
—	EXISTING INTERNAL PROPERTY LINE
— — —	RIGHT OF WAY CENTERLINE
— — —	ROAD CENTERLINE
□	EXISTING WOOD FENCE
○	EXISTING CHAIN LINK FENCE
X	EXISTING WIRE FENCE
SS	EXISTING SANITARY SEWER LINE
SD	EXISTING STORM DRAIN PIPE
T	EXISTING TELEPHONE LINE
P	EXISTING POWER LINE
G	EXISTING GAS PIPE
(S)	EXISTING SANITARY SEWER MANHOLE
PT	EXISTING POWER TRANSFORMER
J	EXISTING JUNCTION BOX
M	EXISTING POWER METER
PV	EXISTING POWER VAULT
□	EXISTING CATCH BASIN
W	EXISTING WATER METER
I	EXISTING IRRIGATION BOX
M	EXISTING WATER VALVE
Q	EXISTING FIRE HYDRANT
◎	EXISTING WATER BLOWOFF
●	EXISTING HOSE BIB
①	EXISTING TELEPHONE VAULT
②	EXISTING TELEPHONE RISER
□	SOIL STOCKPILE AREA (APPROX.)
●	EXISTING BOLLARD
—	TEMPORARY BENCH MARK
—	EXISTING RIP RAP
—	EXISTING CONCRETE SIDEWALK
—	EXISTING PAVEMENT
—	PROPOSED PAVEMENT
—	PROPOSED DRIVEWAY APPROACH
—	PROPOSED SIDEWALK
—	PROPOSED ON-STREET PARKING LINE

SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SITE PLAN AND TENTATIVE PLAT

Curve Table			
Curve #	Length	Radius	Delta
C11	115.19	81.00	81°28'41"
C12	115.19	81.00	81°28'41"
C25	59.52	133.00	25°38'33"
C26	24.47	133.00	10°32'26"
C27	24.13	133.00	10°23'46"
C28	46.09	133.00	19°51'22"
C29	41.68	133.00	17°57'18"
C30	40.63	133.00	17°30'10"
C31	38.07	133.00	16°23'54"
C32	24.03	133.00	10°21'11"
C33	39.60	133.00	17°03'31"
C43	168.08	107.00	90°00'00"
C45	168.08	107.00	90°00'00"

Parcel Line Table		
Line #	Length	Direction
L8	36.00	S87°30'13"E
L9	24.00	N2°29'47"E
L10	31.00	N87°30'13"W
L11	70.37	N87°30'13"W
L12	41.98	S35°18'53"E
L13	94.16	S87°30'13"E
L14	38.88	N41°34'26"E
L15	95.66	S87°30'13"E



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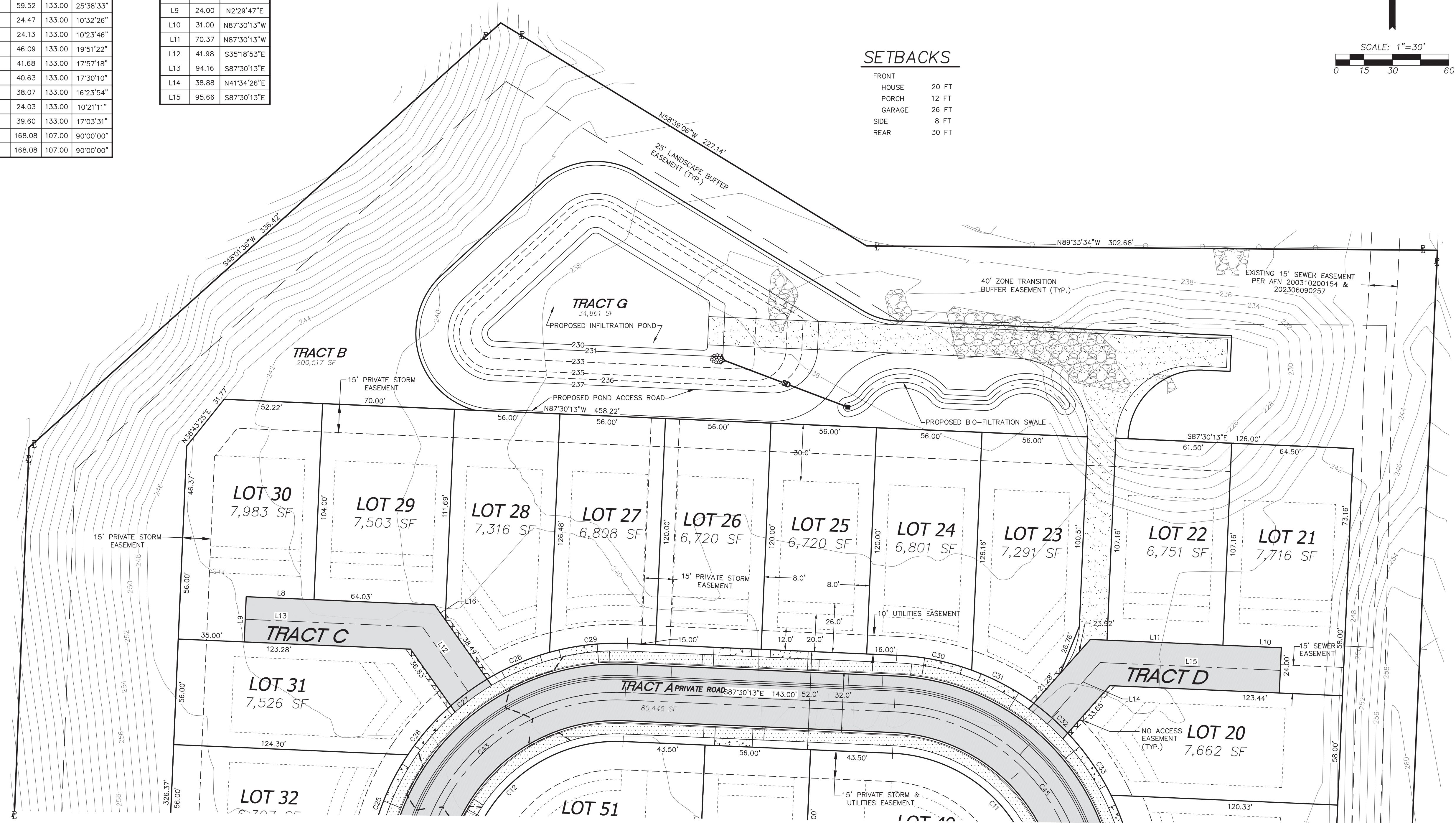
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HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED BUILDING SETBACK LINES
	EASEMENT
	RIGHT OF WAY LINE
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	PROPOSED PAVEMENT
	PROPOSED DRIVEWAY APPROACH
	PROPOSED SIDEWALK
	PROPOSED STORM PIPE
	PROPOSED CATCH BASIN
	PROPOSED RIP RAP PAD
	PROPOSED ON-STREET PARKING LINE



SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SITE PLAN AND TENTATIVE PLAT

Curve Table			
Curve #	Length	Radius	Delta
C9	39.27	25.00	90'00"00"
C10	12.05	81.00	8'31'19"
C11	115.19	81.00	81'28'41"
C12	115.19	81.00	81'28'41"
C13	12.05	81.00	8'31'19"
C14	12.04	81.00	8'31'11"
C15	115.19	81.00	81'28'49"
C16	51.30	133.00	22'06'07"
C19	22.77	133.00	9'48'27"
C20	39.48	133.00	17'00'23"

Curve Table			
Curve #	Length	Radius	Delta
C22	59.20	133.00	25'30"18"
C23	11.01	133.00	4'44'42"
C24	13.02	133.00	5'36'36"
C25	59.52	133.00	25'38'33"
C33	39.60	133.00	17'03'31"
C34	58.74	133.00	25'18'22"
C35	7.85	133.00	3'22'51"
C43	168.08	107.00	90'00'00"
C44	168.08	107.00	90'00'00"
C45	168.08	107.00	90'00'00"

Parcel Line Table		
Line #	Length	Direction
L17	40.97	S46'17"24"W

SETBACKS

FRONT	
HOUSE	20 FT
PORCH	12 FT
GARAGE	26 FT
SIDE	8 FT
REAR	30 FT

SCALE: 1"=30'
0 15 30 60

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

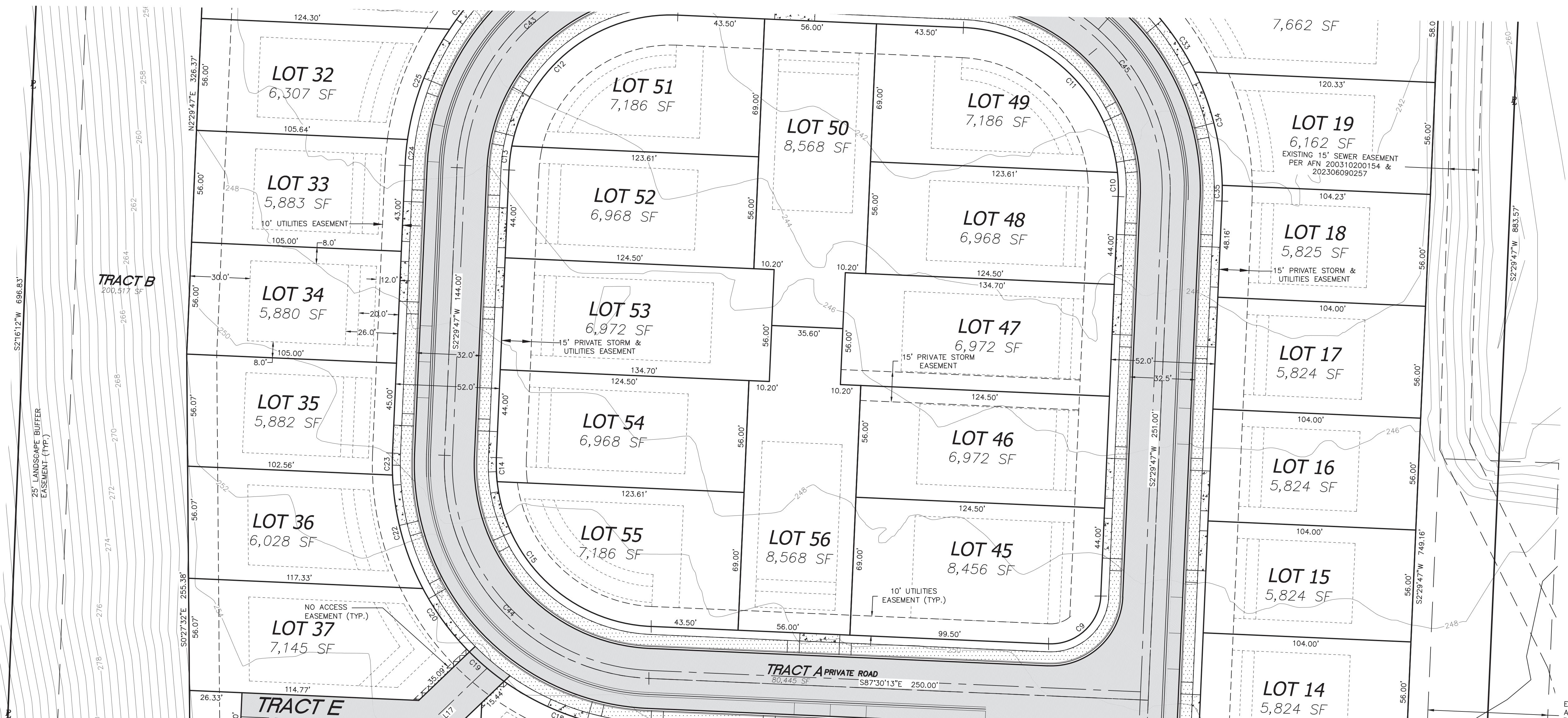
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LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED BUILDING SETBACK LINES
	EASEMENT
	RIGHT OF WAY LINE
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	RIGHT OF WAY CENTERLINE
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	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING TELEPHONE LINE
	EXISTING POWER LINE
	EXISTING GAS PIPE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER TRANSFORMER
	EXISTING JUNCTION BOX
	EXISTING POWER METER
	EXISTING POWER VAULT
	EXISTING CATCH BASIN
	EXISTING WATER METER
	EXISTING IRRIGATION BOX
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER BLOWOFF
	EXISTING HOSE BIB
	EXISTING TELEPHONE VAULT
	EXISTING TELEPHONE RISER
	SOIL STOCKPILE AREA (APPROX.)
	EXISTING BOLLARD
	TEMPORARY BENCH MARK
	EXISTING RIP RAP
	EXISTING CONCRETE SIDEWALK
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED DRIVEWAY APPROACH
	PROPOSED SIDEWALK
	PROPOSED ON-STREET PARKING LINE

EXISTING 60' ACCESS
AND UTILITIES EASEMENT
PER AFN
201606130035



UTILITY CONFLICT NOTE:

CAUTION:

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHoling THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POTHoling ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

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REVISIONS	
1. REV. PER CITY COMMENTS 8/2/2022	
2. REV. PER CITY COMMENTS 9/15/2022	
3. REV. PER CITY COMMENTS 1/23/2023	
4. REV. PER CITY COMMENTS 5/16/2023	



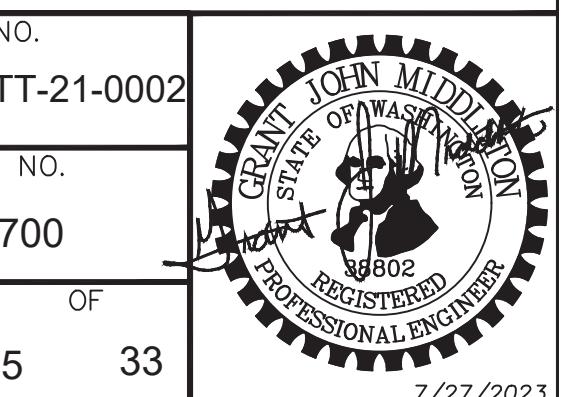
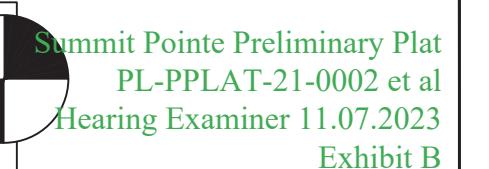
LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	--
SCALE:	AS SHOWN
OTHER:	--

SUMMIT POINTE CONCEPTUAL PLAN

SP3	PERMIT NO.
	PL-PLATT-21-0002
DRAWING NO.	9700
SHEET OF	3
5 33	7/27/2023



SUMMIT POINTE

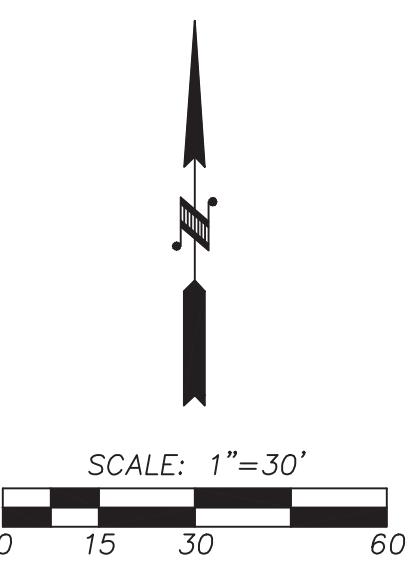
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SITE PLAN AND TENTATIVE PLAT

Curve Table			
Curve #	Length	Radius	Delta
C1	75.77	658.00	6°35'51"
C9	39.27	25.00	90°00'00"
C16	39.27	25.00	90°00'00"
C17	25.15	133.00	10°50'04"
C18	51.30	133.00	22°06'07"
C19	22.77	133.00	9°48'27"
C40	38.95	25.00	89°15'35"
C42	39.27	25.00	90°00'02"

Parcel Line Table			
Line #	Length	Direction	
L1	62.71	N54°17'00"W	
L2	16.26	N2°26'06"E	
L17	40.97	S46°17'24"W	
L18	93.57	N87°30'13"W	

SETBACKS

FRONT	20 FT
HOUSE	12 FT
PORCH	26 FT
GARAGE	8 FT
SIDE	30 FT
REAR	



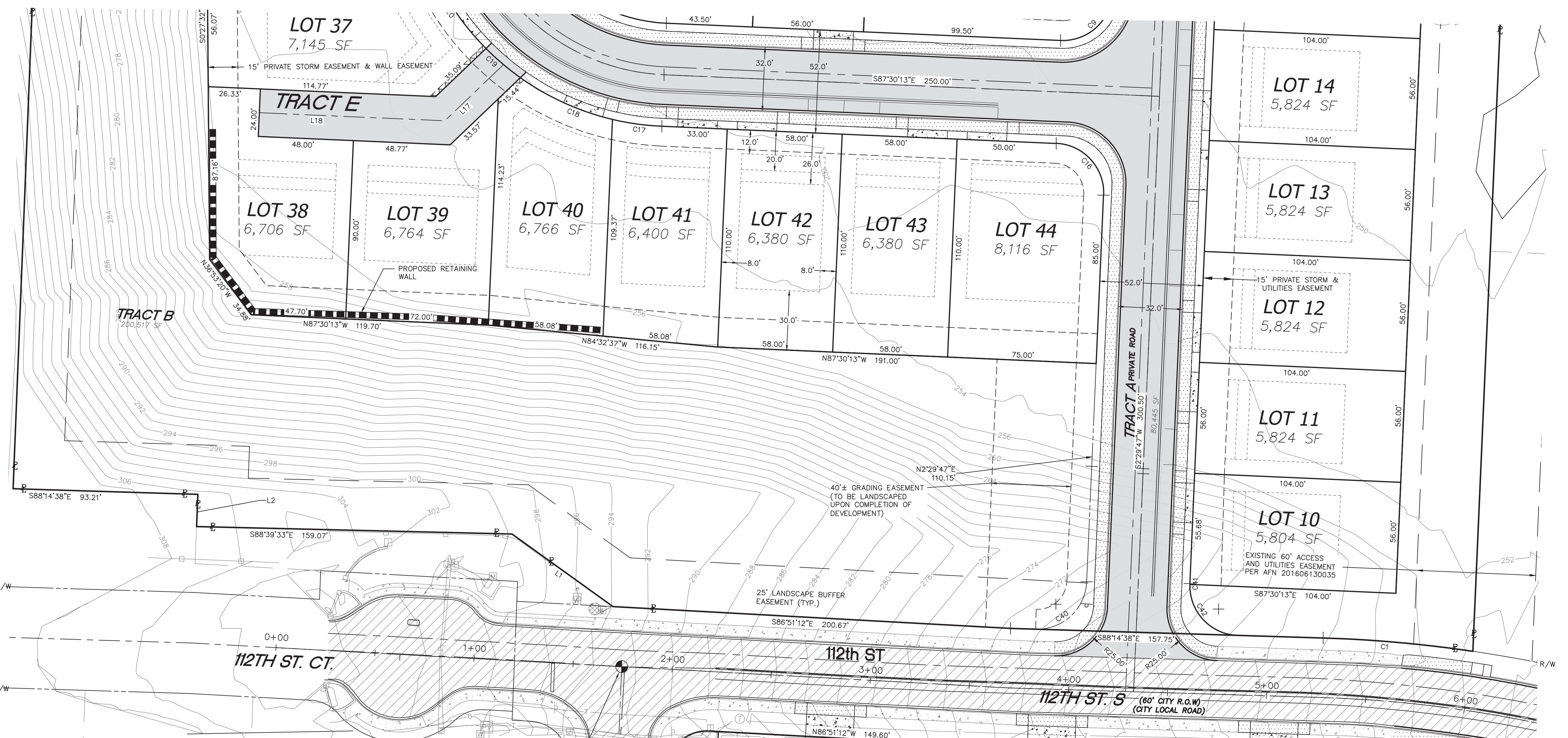
CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED BUILDING SETBACK LINES
	EASEMENT
	RIGHT OF WAY LINE
	PROPOSED EDGE OF PAVEMENT
	PROPERTY ADJOINDER LINE
	EXISTING INTERNAL PROPERTY LINE
	RIGHT OF WAY CENTERLINE
	ROAD CENTERLINE
	EXISTING WOOD FENCE
	EXISTING CHAIN LINK FENCE
	EXISTING WIRE FENCE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING TELEPHONE LINE
	EXISTING POWER LINE
	EXISTING GAS PIPE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER TRANSFORMER
	EXISTING JUNCTION BOX
	EXISTING POWER METER
	EXISTING POWER VAULT
	EXISTING CATCH BASIN
	EXISTING WATER METER
	EXISTING IRRIGATION BOX
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER BLOWOFF
	EXISTING HOSE BIB
	EXISTING TELEPHONE VAULT
	EXISTING TELEPHONE RISER
	SOIL STOCKPILE AREA (APPROX.)
	EXISTING BOLLARD
	TEMPORARY BENCH MARK
	EXISTING RIP RAP
	EXISTING CONCRETE SIDEWALK
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED SIDEWALK
	PROPOSED ON-STREET PARKING LINE
	PROPOSED RETAINING WALL



UTILITY CONFLICT NOTE:

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 **LARSON and ASSOCIATES**
surveyors, engineers & planners
9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA 98444 (253) 474-3404

DESIGNED BY: JC
DRAWN BY: PB
CHECKED BY: JC
APPROVED BY: --
SCALE: AS SHOWN
OTHER: --

SUMMIT POINTE CONCEPTUAL PLAN

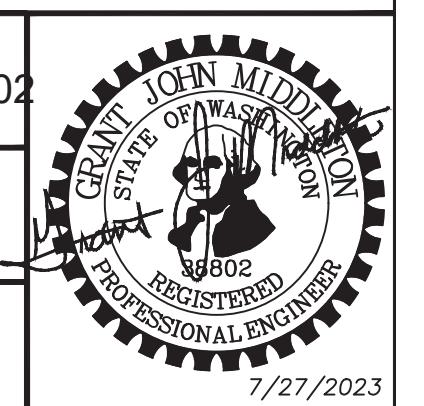
SP4

SITE PLAN &
TENTATIVE PLAT
4

PERMIT NO.
PL-PLATT-21-0002

DRAWING NO.
9700

SHEET OF
6 33

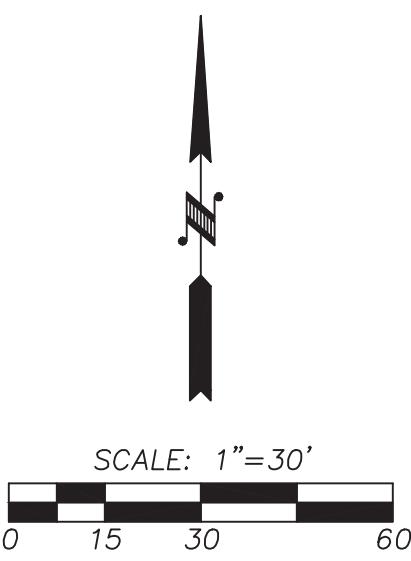


SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SITE PLAN AND TENTATIVE PLAT

Curve Table			
Curve #	Length	Radius	Delta
C1	75.77	658.00	6'35"51"
C2	410.02	598.00	39'17"06"
C3	14.25	658.00	114'27"
C4	31.72	20.00	90'52"36"
C36	32.65	598.00	30'7"42"
C37	56.26	598.00	5'23"26"
C38	57.02	598.00	5'27"47"
C39	80.03	598.00	7'40"04"

Parcel Line Table		
L3	14.38	S87°30'36"E



Summit Pointe Preliminary Plat
PL-PLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

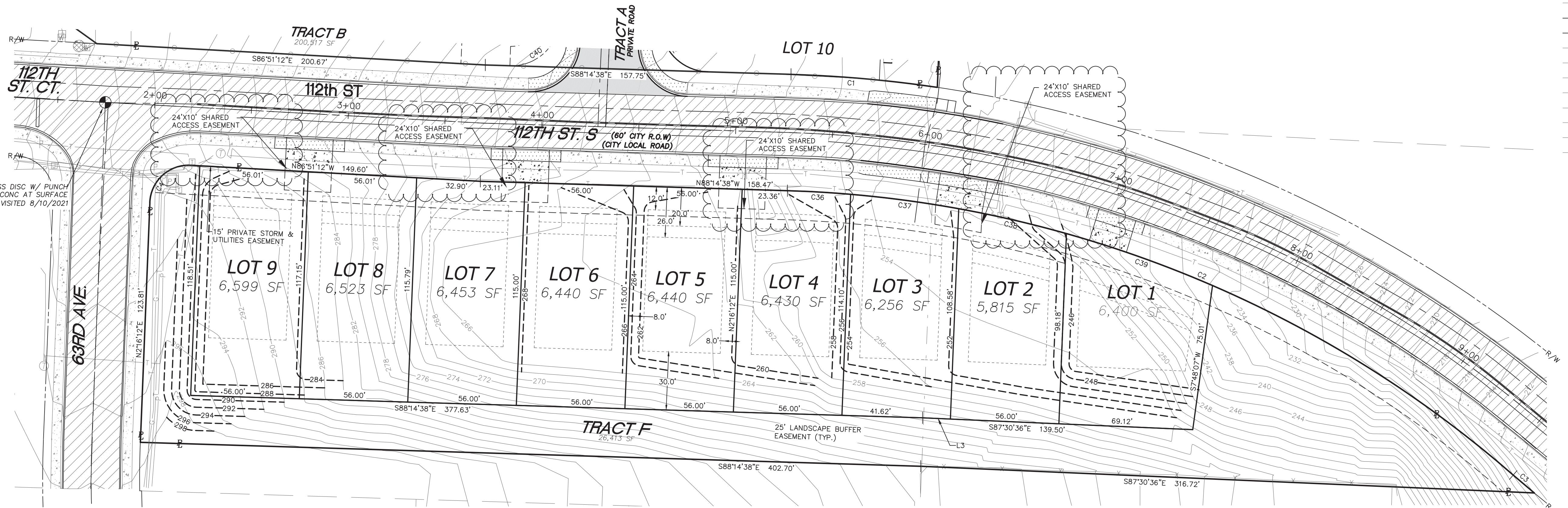
NAD 83/11 WASHINGTON SOUTH ZONE

ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE

WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED BUILDING SETBACK LINES
- EASEMENT
- RIGHT OF WAY LINE
- PROPOSED EDGE OF PAVEMENT
- PROPERTY ADJOINER LINE
- EXISTING INTERNAL PROPERTY LINE
- RIGHT OF WAY CENTERLINE
- ROAD CENTERLINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING WIRE FENCE
- EXISTING SANITARY SEWER LINE
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- PROPOSED SIDEWALK
- PROPOSED ON-STREET PARKING LINE



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surveyors, engineers & planners

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4. REV. PER CITY COMMENTS 5/16/2023	

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	--
SCALE:	AS SHOWN
OTHER:	--

SUMMIT POINTE CONCEPTUAL PLAN

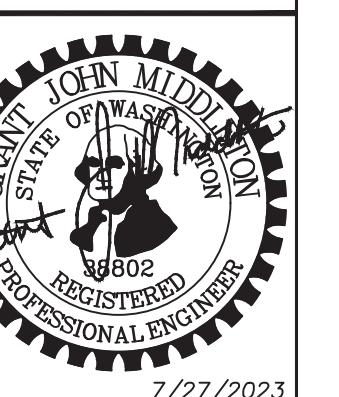
SP5

SITE PLAN &
TENTATIVE PLAT
5

PERMIT NO.
PL-PLAT-21-0002

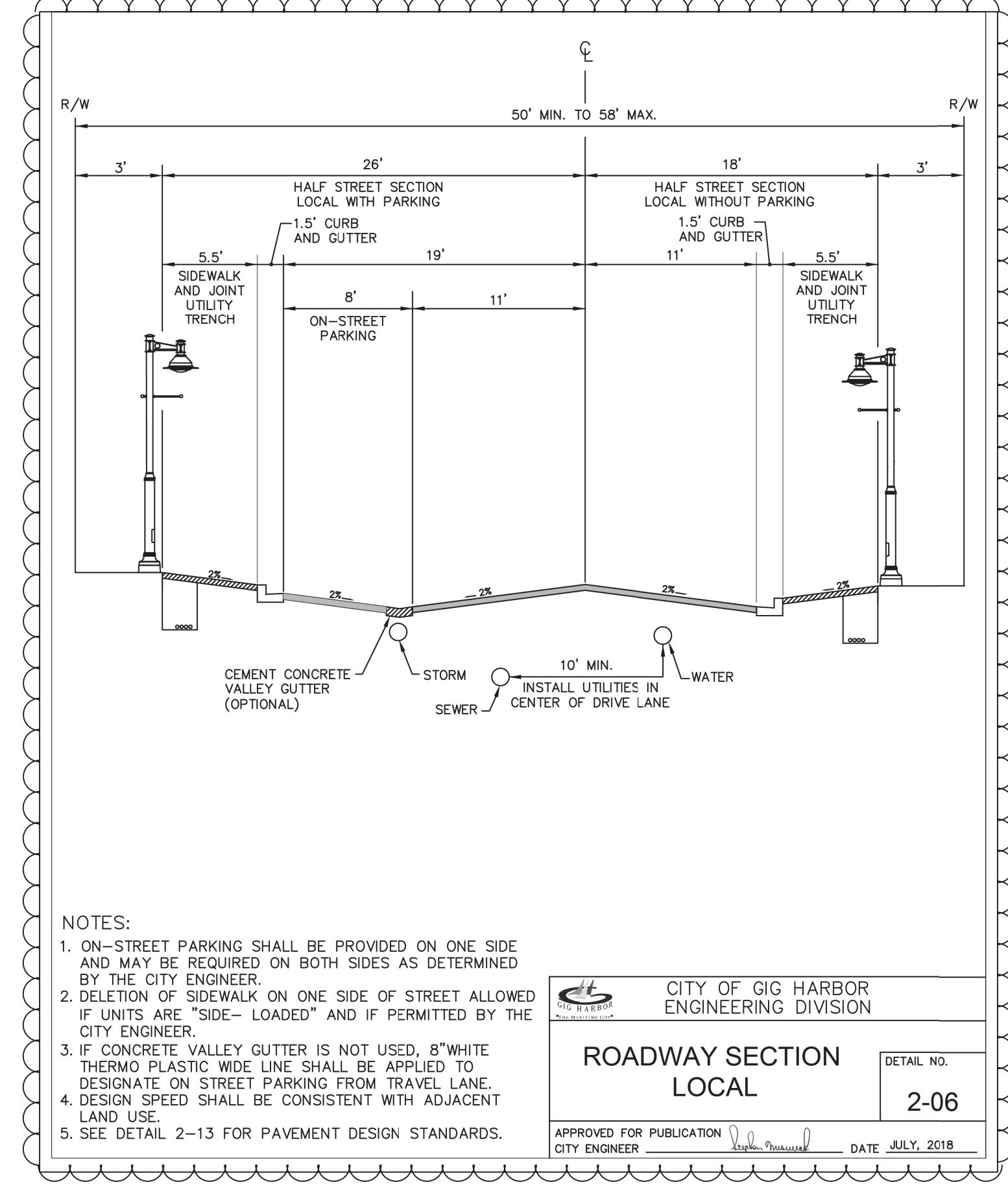
DRAWING NO.
9700

SHEET OF
7 33



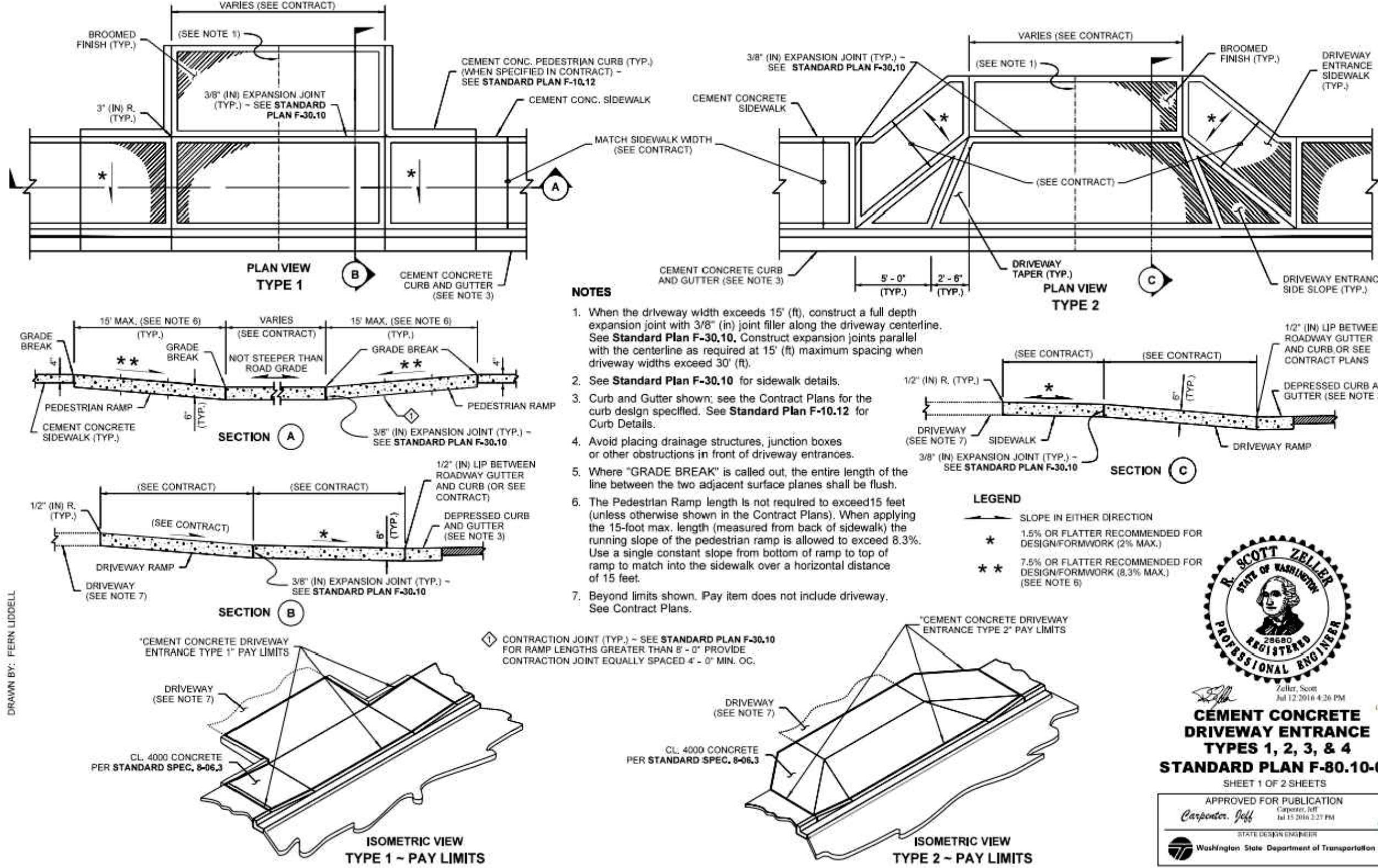
SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SITE PLAN AND TENTATIVE PLAT



NOTES:
 1. ON-STREET PARKING SHALL BE PROVIDED ON ONE SIDE AND MAY BE REQUIRED ON BOTH SIDES AS DETERMINED BY THE CITY ENGINEER.
 2. DELETION OF SIDEWALK ON ONE SIDE OF STREET ALLOWED IF UNITS ARE "SIDE- LOADED" AND IF PERMITTED BY THE CITY ENGINEER.
 3. IF CONCRETE VALLEY GUTTER IS NOT USED, 8" WHITE THERMO PLASTIC WIDE LINE SHALL BE APPLIED TO DESIGNATE ON STREET PARKING FROM TRAVEL LANE.
 4. DESIGN SPEED SHALL BE CONSISTENT WITH ADJACENT LAND USE.
 5. SEE DETAIL 2-13 FOR PAVEMENT DESIGN STANDARDS.

CITY OF GIG HARBOR
ENGINEERING DIVISION
ROADWAY SECTION
LOCAL
APPROVED FOR PUBLICATION
CITY ENGINEER
DATE JULY, 2018
DETAIL NO.
2-06

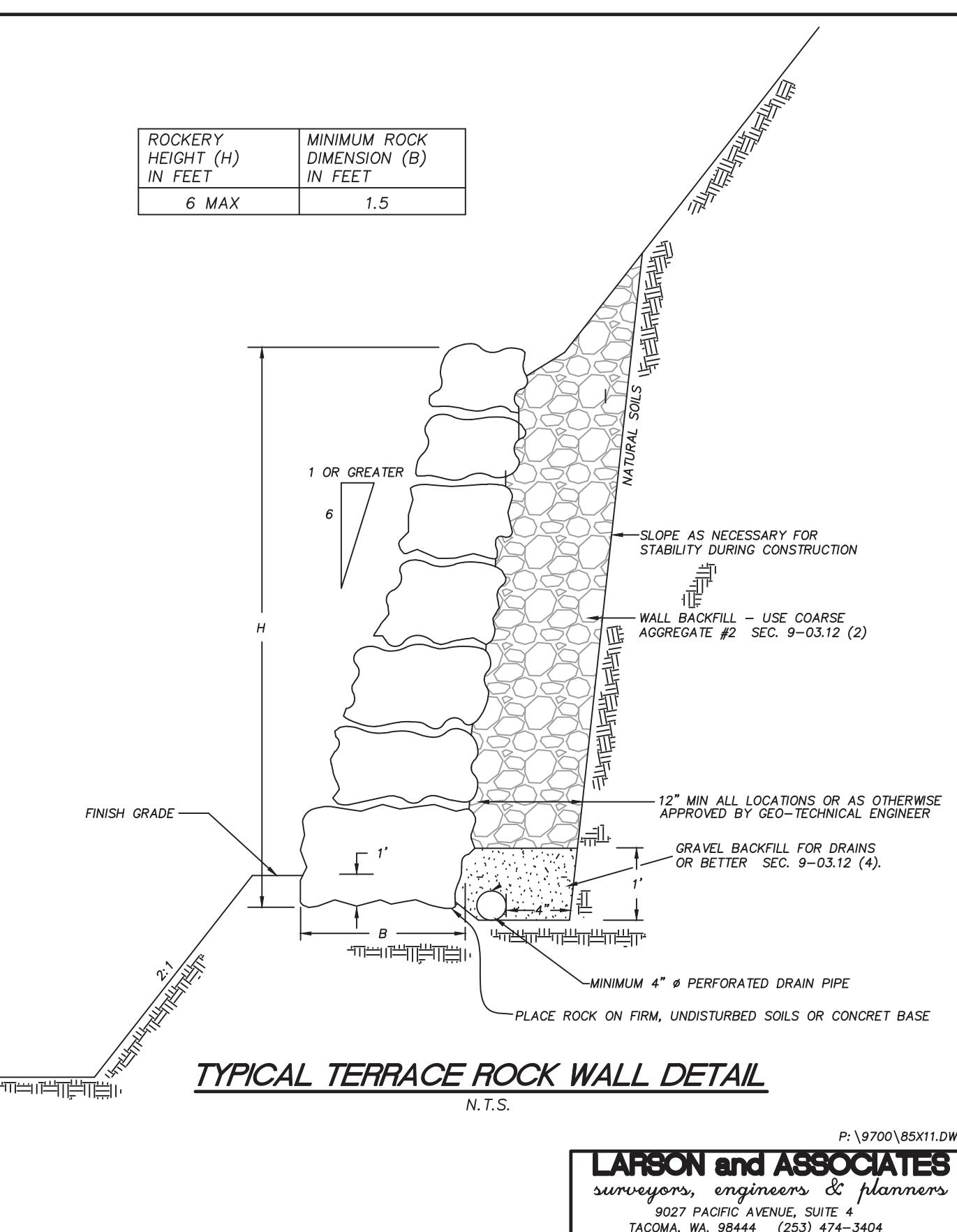


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SUMMIT POINTE CONCEPTUAL PLAN

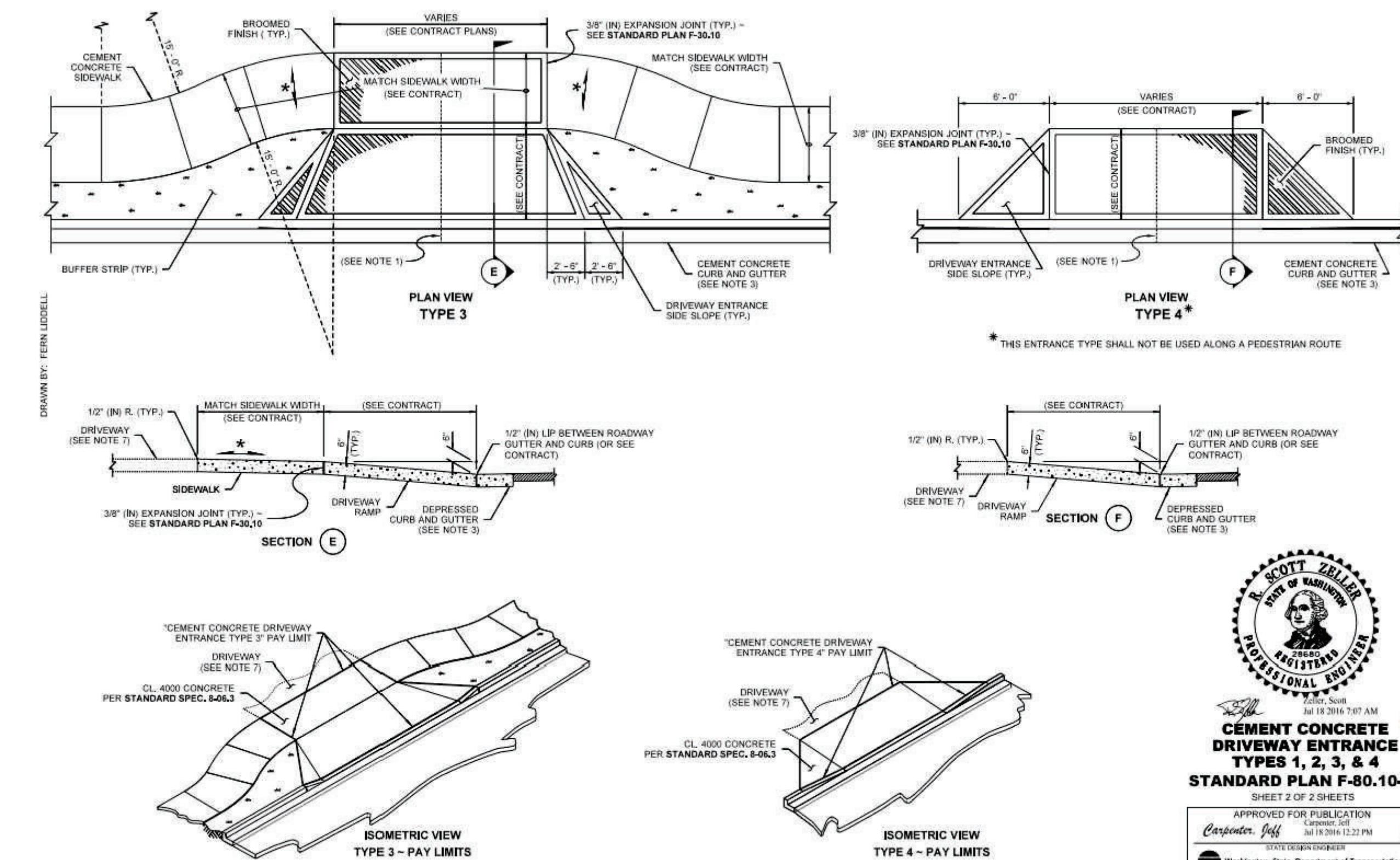


TYPICAL TERRACE ROCK WALL DETAIL

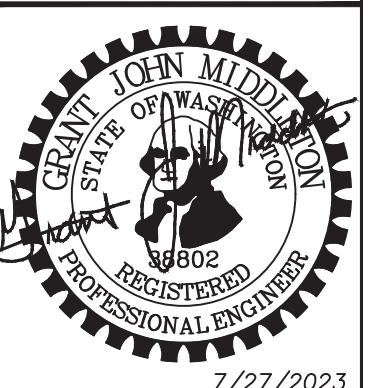
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TACOMA, WA 98444 (253) 474-3404



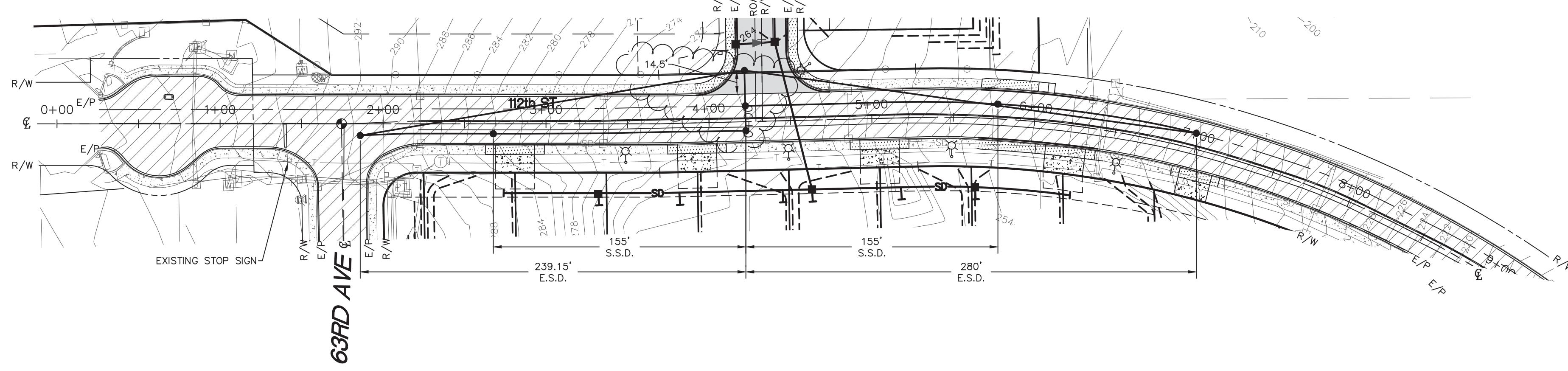
PRELIMINARY



PERMIT NO.	PL-PLATT-21-0002
DRAWING NO.	9700
NOTES & DETAILS	6
SHEET OF	8 33

SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SIGHT DISTANCE EXHIBIT



SCALE: 1"=50'
0 25 50 100

Summit Pointe Preliminary Plat
PL-PLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B



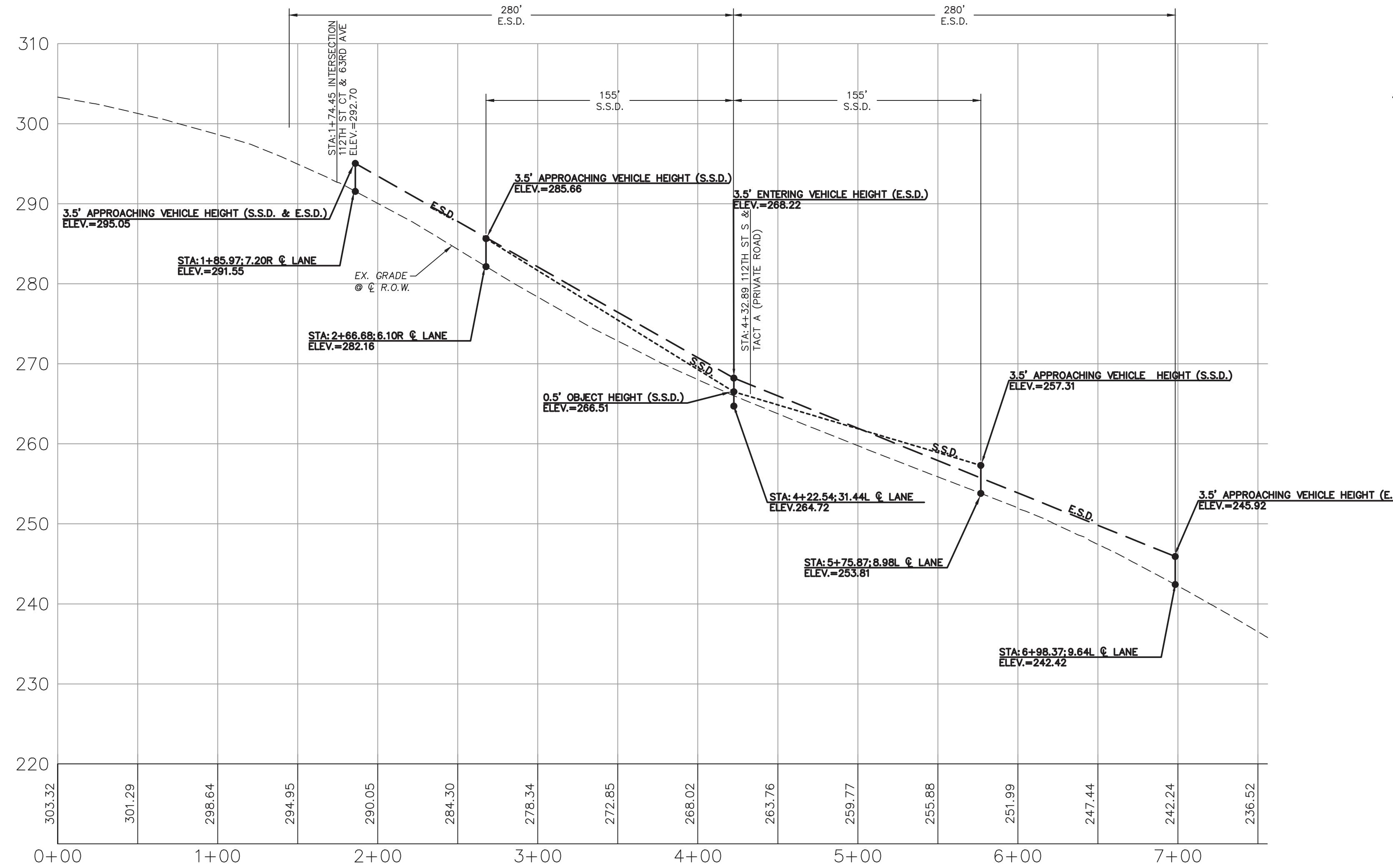
NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M. #6A 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

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- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED BUILDING SETBACK LINES
- EASEMENT
- RIGHT OF WAY LINE
- PROPOSED EDGE OF PAVEMENT
- PROPERTY ADJOINER LINE
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- TEMPORARY BENCH MARK
- PROPOSED LUMINAIRE POLE (PROPOSED LOCATION)
- EXISTING RIP RAP
- EXISTING CONCRETE SIDEWALK
- PROPOSED PAVEMENT
- PROPOSED DRIVEWAY APPROACH
- PROPOSED SIDEWALK



NOTE:

ENGINEER OF RECORD CERTIFIES THAT THE PROPOSED
CONDITIONS WILL HAVE NO OBSTRUCTIONS WITHIN VISION
TRIANGLES ONCE CONSTRUCTED AS REQUIRED BY AASHTO
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SCALE: AS SHOWN
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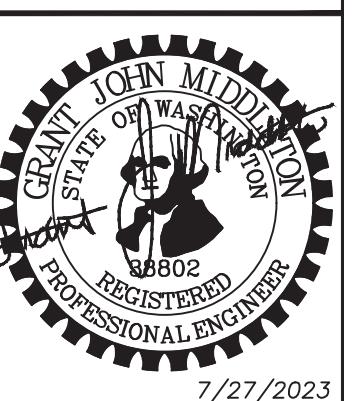
SUMMIT POINTE
CONCEPTUAL
PLAN

SIGHT 1

112TH ST S
INTERNAL ROAD INTERSECTION
SIGHT DISTANCE EXHIBIT

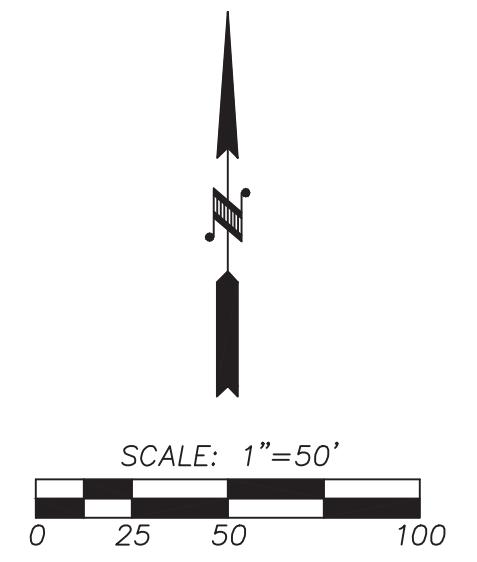
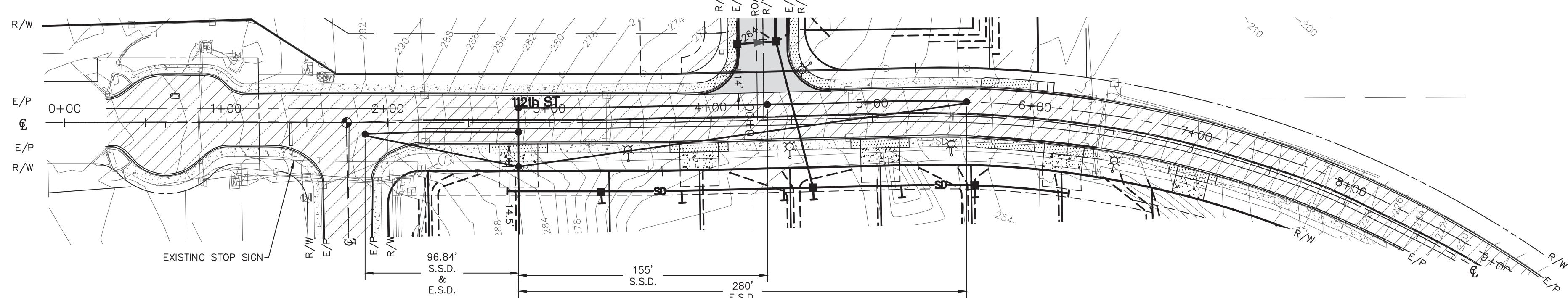
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9700
SHEET OF
9 33



SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SIGHT DISTANCE EXHIBIT



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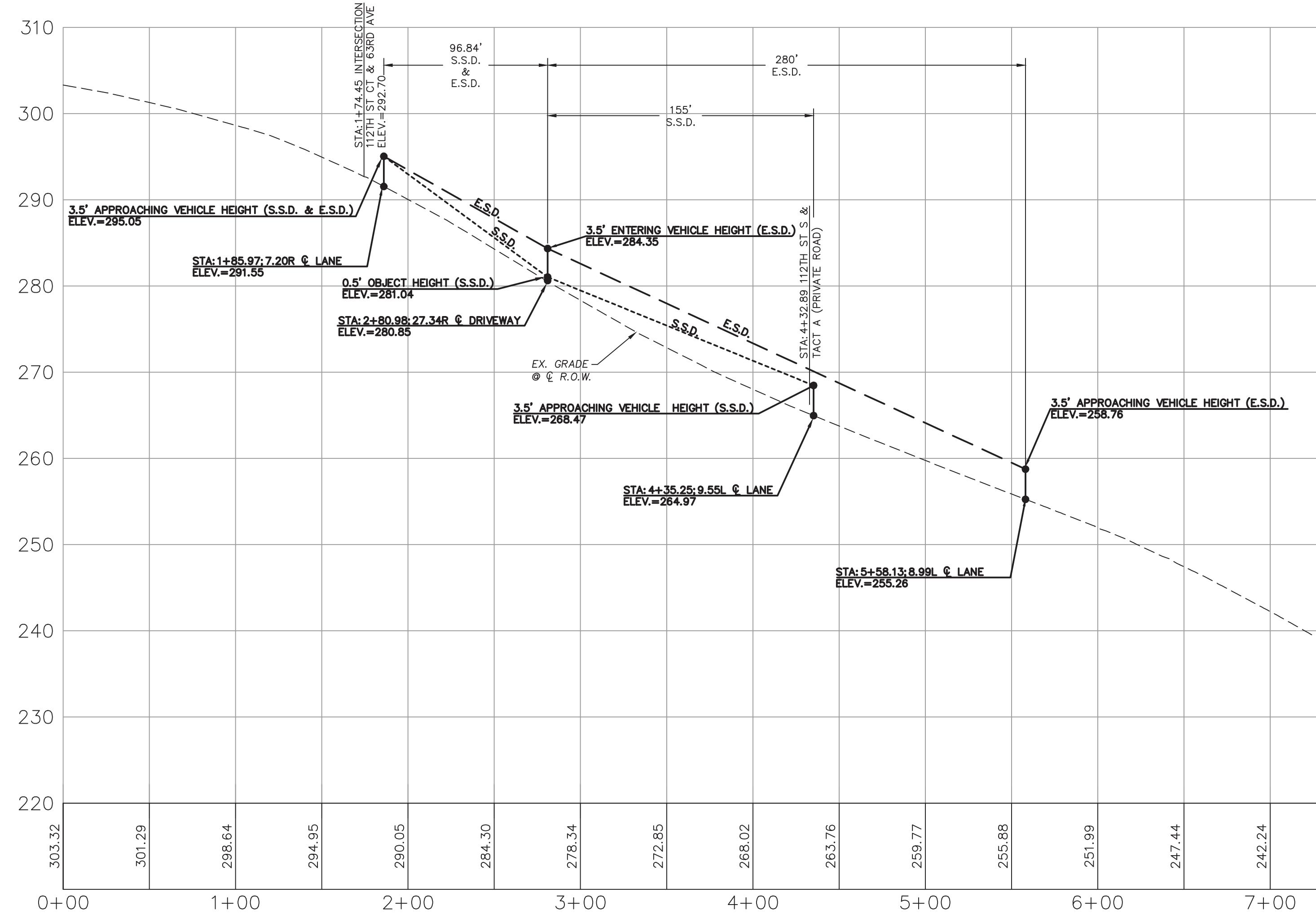
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CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

- PROPERTY LINE
- 123 EXISTING CONTOUR
- 123 PROPOSED CONTOUR
- PROPOSED BUILDING SETBACK LINES
- EASEMENT
- RIGHT OF WAY LINE
- PROPOSED EDGE OF PAVEMENT
- PROPERTY ADJOINER LINE
- EXISTING INTERNAL PROPERTY LINE
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- EXISTING CHAIN LINK FENCE
- ✗ EXISTING WIRE FENCE
- SS EXISTING SANITARY SEWER LINE
- SD EXISTING STORM DRAIN PIPE
- T EXISTING TELEPHONE LINE
- P EXISTING POWER LINE
- G EXISTING GAS PIPE
- EXISTING SANITARY SEWER MANHOLE
- PT EXISTING POWER TRANSFORMER
- EXISTING JUNCTION BOX
- M EXISTING POWER METER
- PV EXISTING POWER VAULT
- EXISTING CATCH BASIN
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CHECKED BY: JC
APPROVED BY: --
SCALE: AS SHOWN
OTHER: --

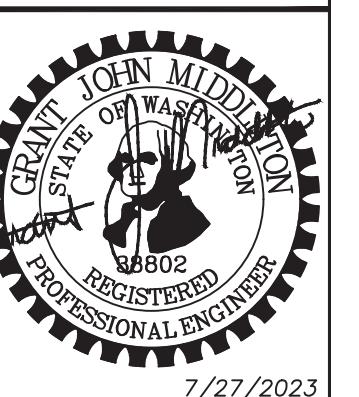
SUMMIT POINTE CONCEPTUAL PLAN

SIGHT 2

112TH ST S
WEST DRIVEWAY
SIGHT DISTANCE EXHIBIT

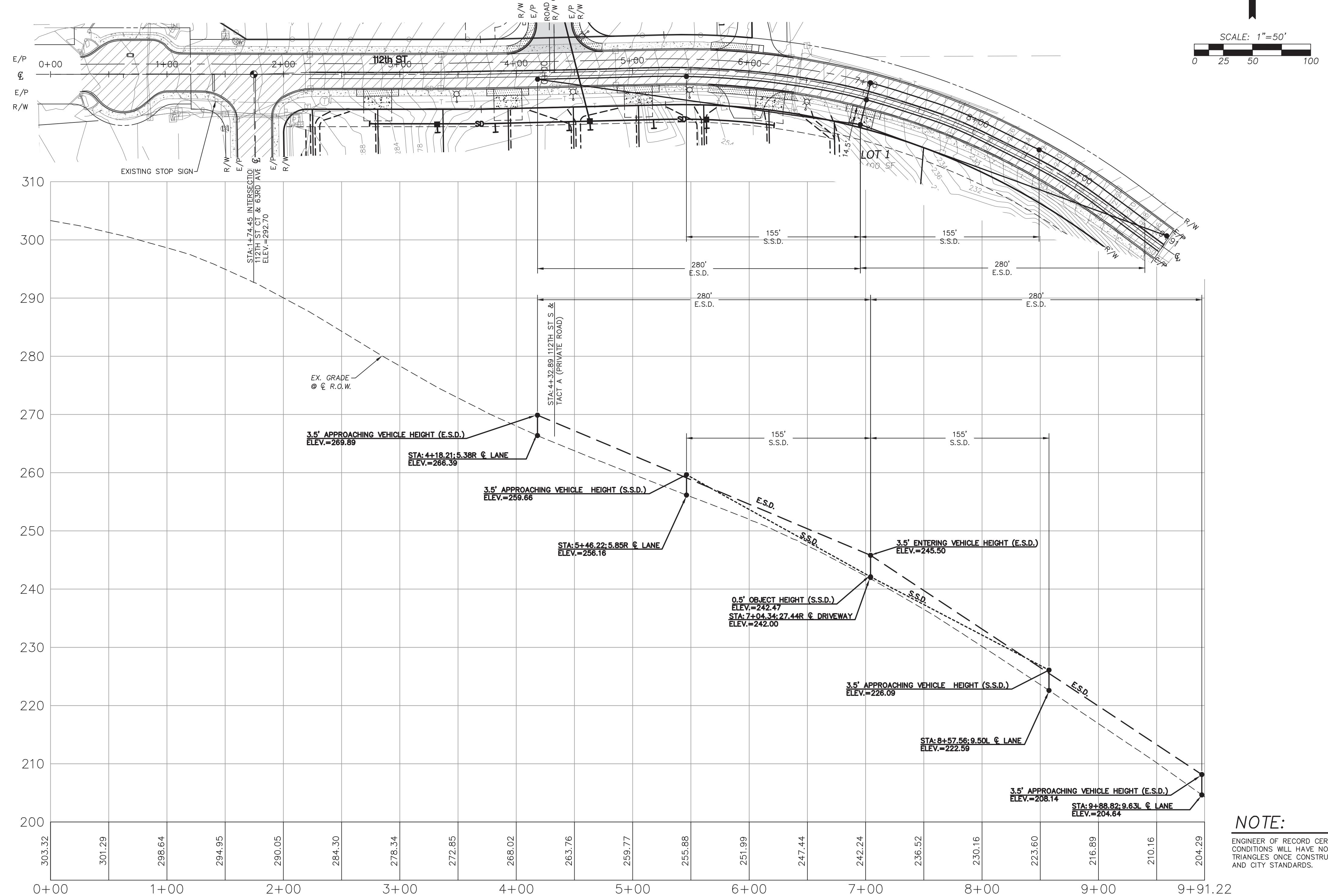
PERMIT NO.
PL-PLAT-21-0002

DRAWING NO.
9700
SHEET OF
10 33



SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SIGHT DISTANCE EXHIBIT



Summit Pointe Preliminary Plat
PL-PLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B



NAVD 88 ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M. #4 3" BRASS DISC W/ PUNCH SET IN CONC AT SURFACE VISITED 8/10/2021 ON 112TH ST & 63RD AVE ELEV. 292.69

TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED BUILDING SETBACK LINES
	EASEMENT
	RIGHT OF WAY LINE
	PROPOSED EDGE OF PAVEMENT
	PROPERTY ADJOINER LINE
	EXISTING INTERNAL PROPERTY LINE
	RIGHT OF WAY CENTERLINE
	ROAD CENTERLINE
	EXISTING WOOD FENCE
	EXISTING CHAIN LINK FENCE
	EXISTING WIRE FENCE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING TELEPHONE LINE
	EXISTING POWER LINE
	EXISTING GAS PIPE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER TRANSFORMER
	EXISTING JUNCTION BOX
	EXISTING POWER METER
	EXISTING POWER VAULT
	EXISTING CATCH BASIN
	EXISTING WATER METER
	EXISTING IRRIGATION BOX
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER BLOWOFF
	EXISTING HOSE BIB
	EXISTING TELEPHONE VAULT
	EXISTING TELEPHONE RISER
	SOIL STOCKPILE AREA (APPROX.)
	TEMPORARY BOLLARD
	PROPOSED LUMINAIRE POLE (PROPOSED LOCATION)
	EXISTING RIP RAP
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED DRIVEWAY APPROACH
	PROPOSED SIDEWALK

NOTE:
ENGINEER OF RECORD CERTIFIES THAT THE PROPOSED CONDITIONS WILL HAVE NO OBSTRUCTIONS WITHIN VISION TRIANGLES ONCE CONSTRUCTED AS REQUIRED BY AASHTO AND CITY STANDARDS.

PRELIMINARY

REVISIONS

1. REV. PER CITY COMMENTS 8/2/2022
2. REV. PER CITY COMMENTS 9/15/2022
3. REV. PER CITY COMMENTS 1/23/2023
4. REV. PER CITY COMMENTS 5/16/2023



LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA 98444 (253) 474-3404

DESIGNED BY:

JC

DRAWN BY:

PB

CHECKED BY:

JC

APPROVED BY:

--

SCALE:

AS SHOWN

OTHER:

--

SUMMIT POINTE
CONCEPTUAL
PLAN

SIGHT 3

112TH ST S
EAST DRIVEWAY
SIGHT DISTANCE EXHIBIT

PERMIT NO.

PL-PLAT-21-0002

DRAWING NO.

9700

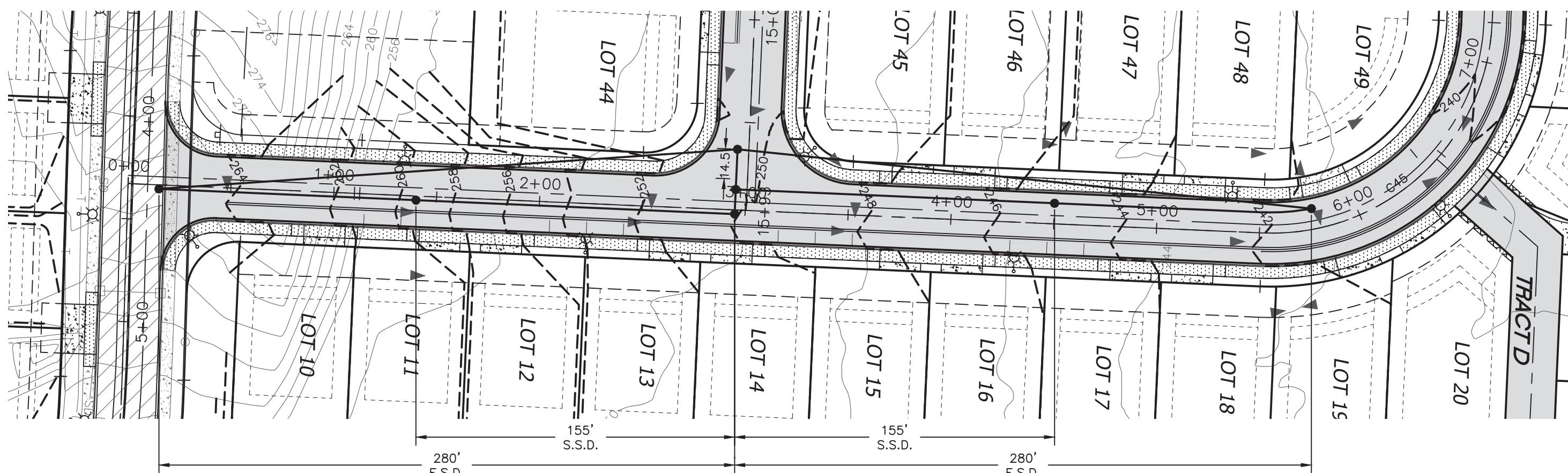
sheet of

11 33

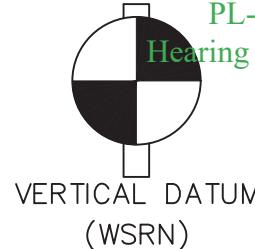


SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SIGHT DISTANCE EXHIBIT



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PL-PLAT-21-0002 et al
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Exhibit B



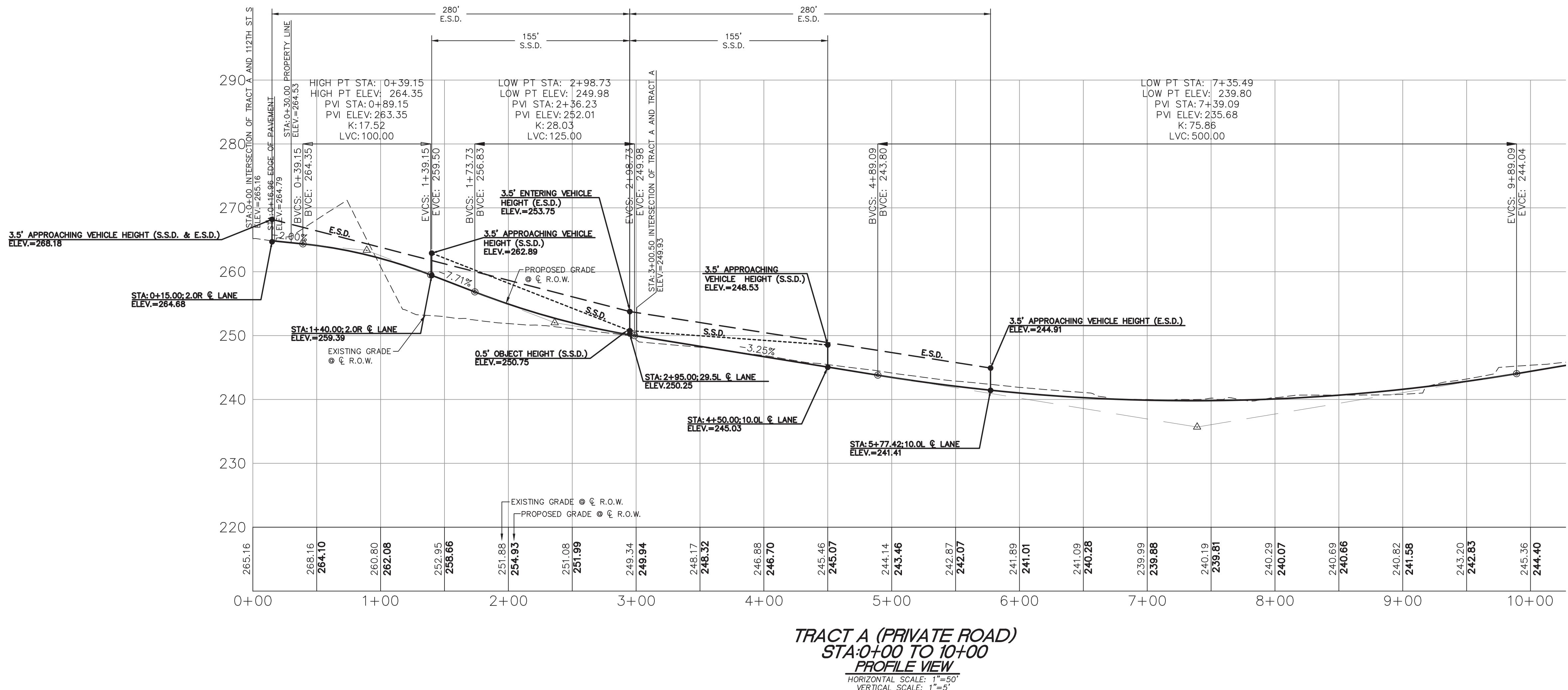
NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M. #64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

NOTE:

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CONDITIONS WILL HAVE NO OBSTRUCTIONS WITHIN VISION
TRIANGLES ONCE CONSTRUCTED AS REQUIRED BY AASHTO
AND CITY STANDARDS.



PRELIMINARY

REVISIONS	
1. REV. PER CITY COMMENTS 8/2/2022	
2. REV. PER CITY COMMENTS 9/15/2022	
3. REV. PER CITY COMMENTS 1/23/2023	
4. REV. PER CITY COMMENTS 5/16/2023	



DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	--
SCALE:	AS SHOWN
OTHER:	--

SUMMIT POINTE CONCEPTUAL PLAN

SIGHT4

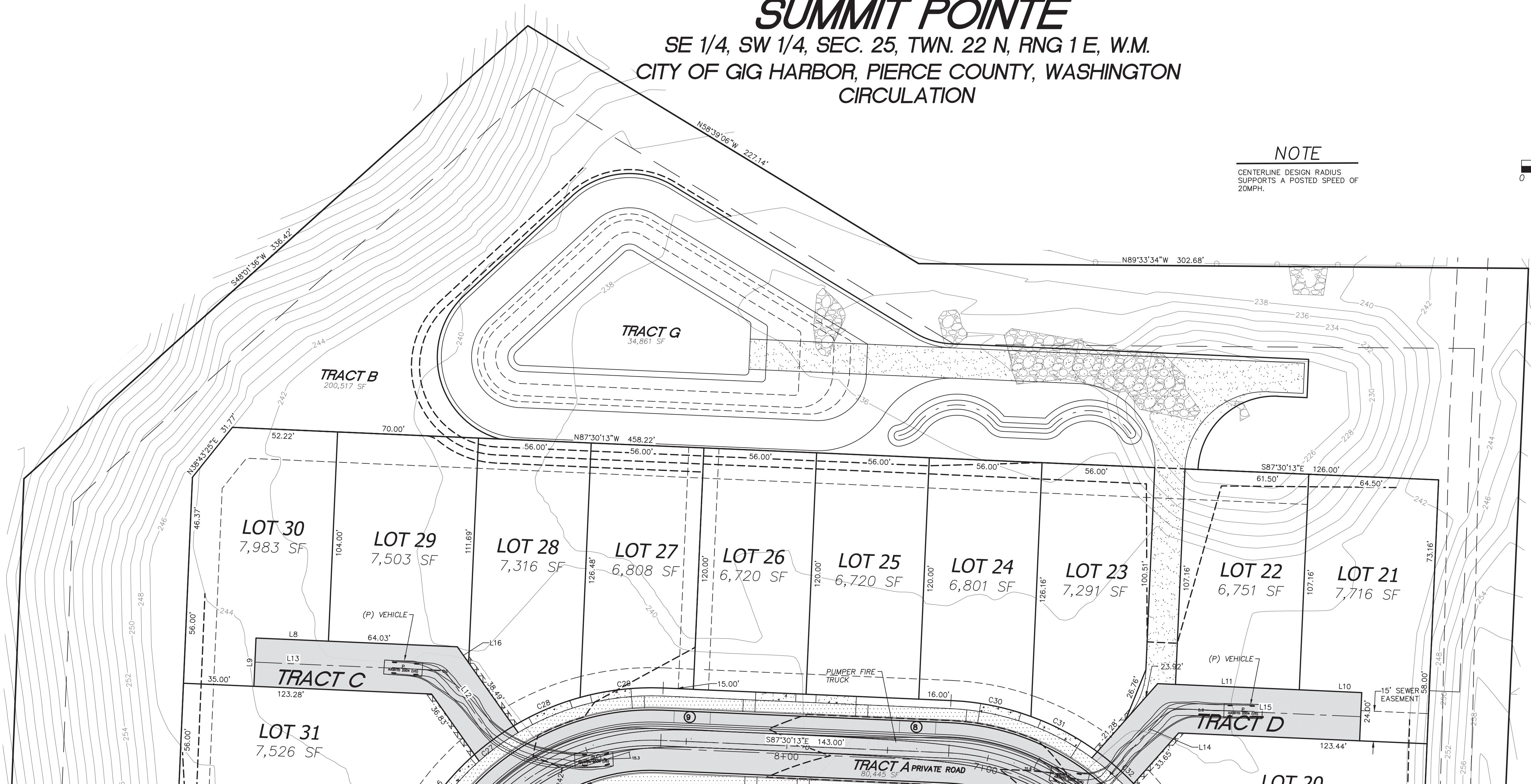
TRACT A (PRIVATE ROAD)
SIGHT DISTANCE EXHIBIT

PERMIT NO.	PL-PLAT-21-0002
DRAWING NO.	9700
SHEET OF	12 33
7/27/2023	



SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
CIRCULATION



CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS	
1.	REV. PER CITY COMMENTS 8/2/2022
2.	REV. PER CITY COMMENTS 9/15/2022
3.	REV. PER CITY COMMENTS 1/23/2023
4.	REV. PER CITY COMMENTS 5/16/2023



LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY: JC
DRAWN BY: PB
CHECKED BY: JC
APPROVED BY: --
SCALE: AS SHOWN
OTHER: --

SUMMIT POINTE CONCEPTUAL PLAN

CI 1

PERMIT NO.
PL-PLATT-21-0002

DRAWING NO.
9700

SHEET OF
13 33

CIRCULATION
1



PRELIMINARY

Summit Pointe Preliminary Plat
PL-PLATT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

NAVD 88 ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN CONC AT SURFACE VISITED 8/10/2021 ON 112TH ST & 63RD AVE ELEV. 292.69

CONTOUR INTERVAL=2'

TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE

ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

- P PROPERTY LINE
- 123 EXISTING CONTOUR
- 123 PROPOSED CONTOUR
- PROPOSED CONTOUR SETBACK LINES
- EASEMENT
- RIGHT OF WAY LINE
- PROPOSED EDGE OF PAVEMENT
- PROPERTY ADJACENT LINE
- EXISTING INTERNAL PROPERTY LINE
- RIGHT OF WAY CENTERLINE
- ROAD CENTERLINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING WIRE FENCE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN PIPE
- EXISTING TELEPHONE LINE
- EXISTING POWER LINE
- EXISTING GAS PIPE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING POWER TRANSFORMER
- EXISTING JUNCTION BOX
- EXISTING POWER METER
- EXISTING POWER VAULT
- EXISTING CATCH BASIN
- EXISTING WATER METER
- EXISTING IRRIGATION BOX
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING WATER BLOWOFF
- EXISTING HOSE BIB
- EXISTING TELEPHONE VAULT
- EXISTING TELEPHONE RISER
- SOIL STOCKPILE AREA (APPROX.)
- EXISTING BOLLARD
- EXISTING RIP RAP
- EXISTING CONCRETE SIDEWALK
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- PROPOSED DRIVEWAY APPROACH
- PROPOSED SIDEWALK
- PROPOSED ON-STREET PARKING LINE
- TEMPORARY BENCH MARK
- PROPOSED SIGN
- PROPOSED PARKING STALL

①

7/27/2023

SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
CIRCULATION

NOTE

CENTERLINE DESIGN RADIUS
SUPPORTS A POSTED SPEED OF
20MPH.



CONTOUR INTERVAL=2'

TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

P	PROPERTY LINE
123	EXISTING CONTOUR
—123—	PROPOSED CONTOUR
-----	PROPOSED SETBACK LINES
-----	EASEMENT
—	RIGHT OF WAY LINE
—	PROPOSED EDGE OF PAVEMENT
—	PROPERTY ADJACENT LINE
—	EXISTING INTERNAL PROPERTY LINE
—	RIGHT OF WAY CENTERLINE
□	EXISTING WOOD FENCE
○	EXISTING CHAIN LINK FENCE
X	EXISTING WIRE FENCE
SS	EXISTING SANITARY SEWER LINE
SD	EXISTING STORM DRAIN PIPE
T	EXISTING TELEPHONE LINE
P	EXISTING POWER LINE
G	EXISTING GAS PIPE
(S)	EXISTING SANITARY SEWER MANHOLE
PT	EXISTING POWER TRANSFORMER
□	EXISTING JUNCTION BOX
M	EXISTING POWER METER
PV	EXISTING POWER VAULT
□	EXISTING CATCH BASIN
W	EXISTING WATER METER
□	EXISTING IRRIGATION BOX
M	EXISTING WATER VALVE
○	EXISTING FIRE HYDRANT
◎	EXISTING WATER BLOWOFF
□	EXISTING HOSE BIB
⑦	EXISTING TELEPHONE VAULT
□	EXISTING TELEPHONE RISER
□	SOIL STOCKPILE AREA (APPROX.)
•	EXISTING BOLLARD
□	EXISTING RIP RAP
□	EXISTING CONCRETE SIDEWALK
□	EXISTING PAVEMENT
□	PROPOSED PAVEMENT
□	PROPOSED DRIVEWAY APPROACH
□	PROPOSED SIDEWALK
□	PROPOSED ON-STREET PARKING LINE
□	TEMPORARY BENCH MARK
□	PROPOSED SIGN
①	PROPOSED PARKING STALL

PRELIMINARY

CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR
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HOURS PRIOR TO ANY EXCAVATION.

REVISIONS

1. REV. PER CITY COMMENTS 8/2/2022
2. REV. PER CITY COMMENTS 9/15/2022
3. REV. PER CITY COMMENTS 1/23/2023
4. REV. PER CITY COMMENTS 5/16/2023



LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA 98444 (253) 474-3404

DESIGNED BY: JC
DRAWN BY: PB
CHECKED BY: JC
APPROVED BY: --
SCALE: AS SHOWN
OTHER: --

SUMMIT POINTE CONCEPTUAL PLAN

CI 2

CIRCULATION
2

PERMIT NO.

PL-PLATT-21-0002

DRAWING NO.

9700

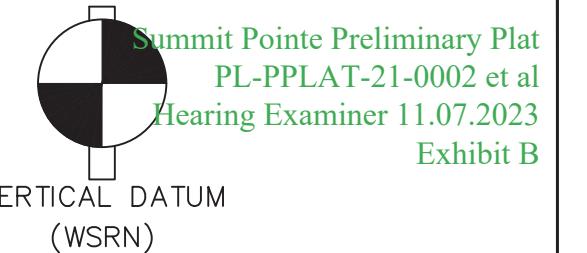
SHEET OF

14 33



SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
CIRCULATION



NAVD 88 ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M. #64 3" BRASS DISC W/ PUNCH SET IN CONC AT SURFACE VISITED 8/10/2021 ON 112TH ST & 63RD AVE ELEV. 292.69

NOTE
CENTERLINE DESIGN RADIUS SUPPORTS A POSTED SPEED OF 20MPH.

SCALE: 1"=30'
0 15 30 60

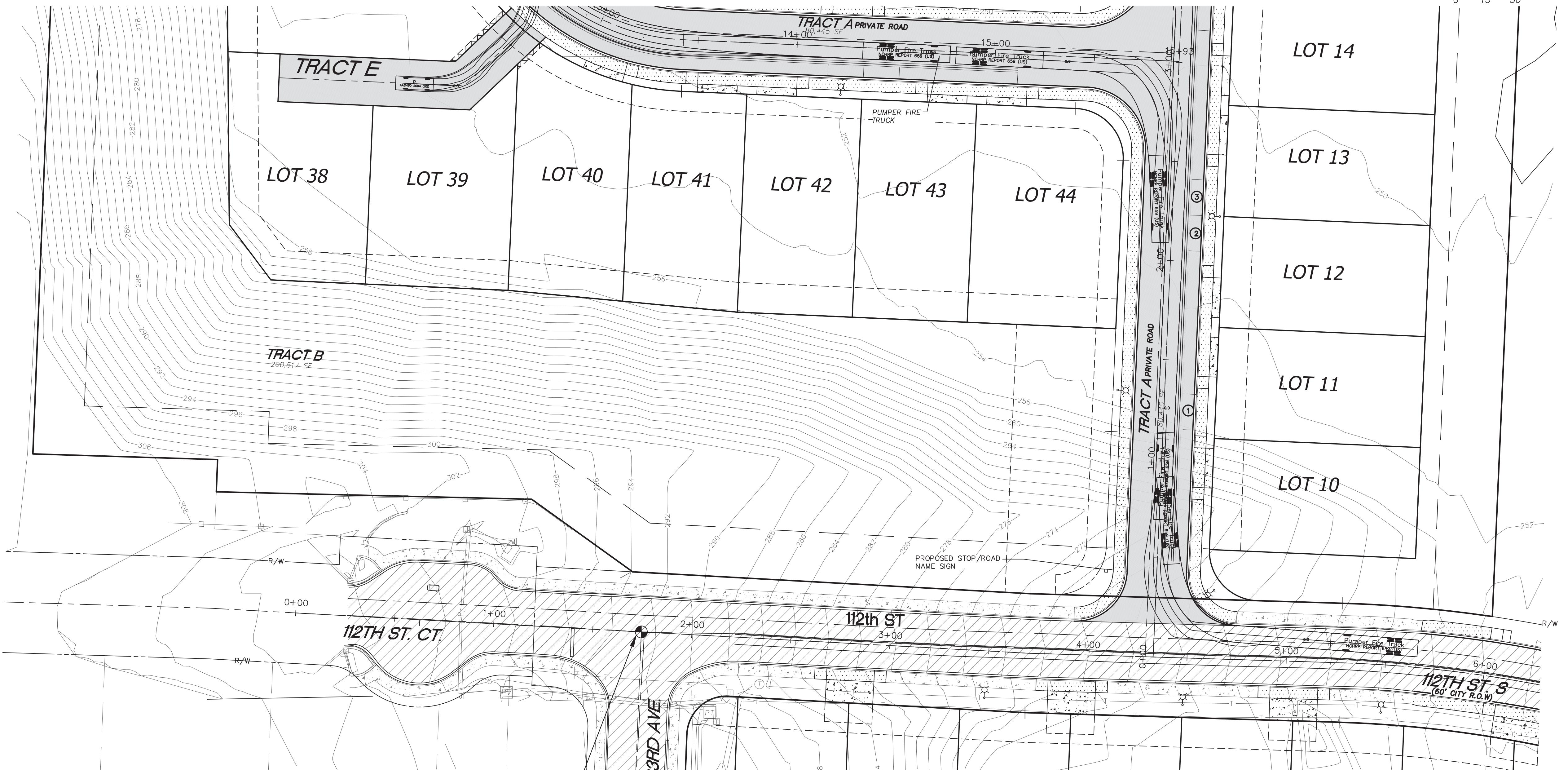
CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

P	PROPERTY LINE
123	EXISTING CONTOUR
—123	PROPOSED CONTOUR
-----	PROPOSED BUILDING SETBACK LINES
-----	EASEMENT
—	RIGHT OF WAY LINE
—	PROPOSED EDGE OF PAVEMENT
—	PROPERTY ADJACENT LINE
—	EXISTING INTERNAL PROPERTY LINE
—	RIGHT OF WAY CENTERLINE
□	EXISTING WOOD FENCE
○	EXISTING CHAIN LINK FENCE
X	EXISTING WIRE FENCE
SS	EXISTING SANITARY SEWER LINE
SD	EXISTING STORM DRAIN PIPE
T	EXISTING TELEPHONE LINE
P	EXISTING POWER LINE
G	EXISTING GAS PIPE
(S)	EXISTING SANITARY SEWER MANHOLE
PT	EXISTING POWER TRANSFORMER
□	EXISTING JUNCTION BOX
M	EXISTING POWER METER
PV	EXISTING POWER VAULT
□	EXISTING CATCH BASIN
W	EXISTING WATER METER
□	EXISTING IRRIGATION BOX
M	EXISTING WATER VALVE
○	EXISTING FIRE HYDRANT
◎	EXISTING WATER BLOWOFF
□	EXISTING HOSE BIB
⑦	EXISTING TELEPHONE VAULT
□	EXISTING TELEPHONE RISER
□	SOIL STOCKPILE AREA (APPROX.)
•	EXISTING BOLLARD
□	EXISTING RIP RAP
□	EXISTING CONCRETE SIDEWALK
□	EXISTING PAVEMENT
□	PROPOSED PAVEMENT
□	PROPOSED SIDEWALK
□	PROPOSED ON-STREET PARKING LINE
●	TEMPORARY BENCH MARK
□	PROPOSED SIGN
①	PROPOSED PARKING STALL



UTILITY CONFLICT NOTE:

CAUTION:

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POTHOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE YOU DIG

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NO PARKING NOTE

NO PARKING SIGNS SHALL BE PLACED AT 50' APART ALONG THE ROAD ON THE OPPOSITE SIDE OF THE PARKING LANE.

PRELIMINARY

REVISIONS
1. REV. PER CITY COMMENTS 8/2/2022
2. REV. PER CITY COMMENTS 9/15/2022
3. REV. PER CITY COMMENTS 1/23/2023
4. REV. PER CITY COMMENTS 5/16/2023



LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

SUMMIT POINTE CONCEPTUAL PLAN

CI 3

CIRCULATION
3

PERMIT NO.
PL-PLAT-21-0002

DRAWING NO.
9700
SHEET OF
15 33
7/27/2023

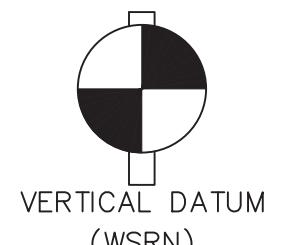
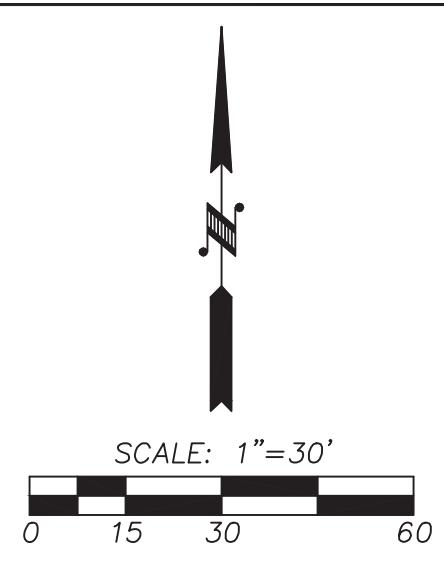


SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
GRADING, DRAINAGE, AND EROSION CONTROL

*RETAINING WALL HEIGHT TABLE	
TOP WALL	BOTTOM WALL
① 256.00	256.00
② 258.00	256.00
③ 260.00	256.00
④ 264.00	258.00
⑤ 264.00	258.00
⑥ 262.00	256.00
⑦ 260.00	256.00
⑧ 257.00	256.00

*SEE RETAINING WALL DETAIL ON SHEET SP6.



NAVD 88 ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN CONC AT SURFACE VISITED 8/10/2021 ON 112TH ST & 63RD AVE ELEV. 292.69

SCALE: 1"=30'
0 15 30 60

CONTOUR INTERVAL=2'

TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

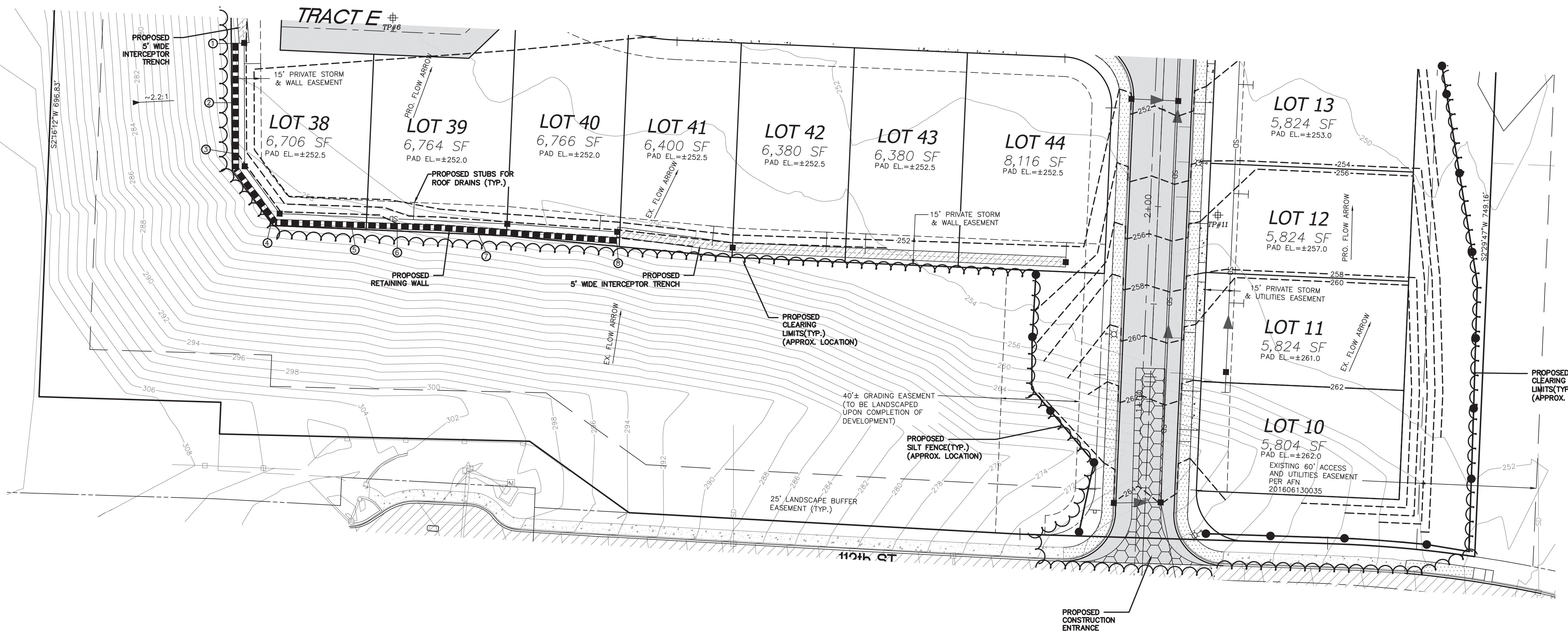
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

Summit Pointe Preliminary Plat
PL-PLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED BUILDING SETBACK LINES
	EASEMENT
	RIGHT OF WAY LINE
	PROPOSED EDGE OF PAVEMENT
	PROPERTY ADJOINER LINE
	EXISTING INTERNAL PROPERTY LINE
	RIGHT OF WAY CENTERLINE
	EXISTING WOOD FENCE
	EXISTING CHAIN LINK FENCE
	EXISTING WIRE FENCE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING TELEPHONE LINE
	EXISTING POWER LINE
	EXISTING GAS PIPE
	EXISTING SANITARY SEWER MANHOLE
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	EXISTING JUNCTION BOX
	EXISTING POWER METER
	EXISTING POWER VAULT
	EXISTING CATCH BASIN
	EXISTING WATER METER
	EXISTING IRRIGATION BOX
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER BLOWOFF
	EXISTING HOSE BIB
	EXISTING TELEPHONE VAULT
	EXISTING TELEPHONE RISER
	SOIL STOCKPILE AREA (APPROX.)
	EXISTING BOLLARD
	EXISTING RIP RAP
	EXISTING CONCRETE SIDEWALK
	PROPOSED PAVEMENT
	PROPOSED DRIVEWAY APPROACH
	PROPOSED SIDEWALK
	PROPOSED STORM PIPE
	PROPOSED CATCH BASIN
	TEMPORARY BENCH MARK
	SLIT FENCE
	CLEARING LIMITS
	GEOTECH TEST PIT LOCATIONS



UTILITY CONFLICT NOTE:

CAUTION:

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LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA 98444 (253) 474-3404

REVISIONS	
1. REV. PER CITY COMMENTS 8/2/2022	
2. REV. PER CITY COMMENTS 9/15/2022	
3. REV. PER CITY COMMENTS 1/23/2023	
4. REV. PER CITY COMMENTS 5/16/2023	

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	--
SCALE:	AS SHOWN
OTHER:	--

SUMMIT POINTE CONCEPTUAL PLAN

R3

GRADING, DRAINAGE & EROSION CONTROL
3

PERMIT NO.

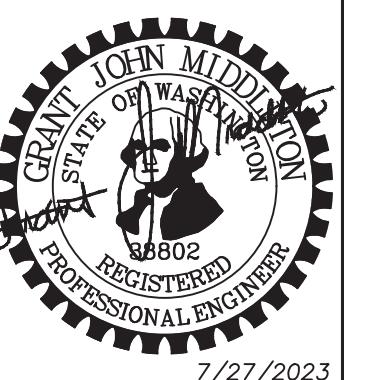
PL-PLAT-21-0002

DRAWING NO.

9700

SHEET OF

18 33



PRELIMINARY

SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
GRADING, DRAINAGE, AND EROSION CONTROL

Summit Pointe Preliminary Plat
PL-PLATT-21-0002 et al
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Exhibit B



NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M. #64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

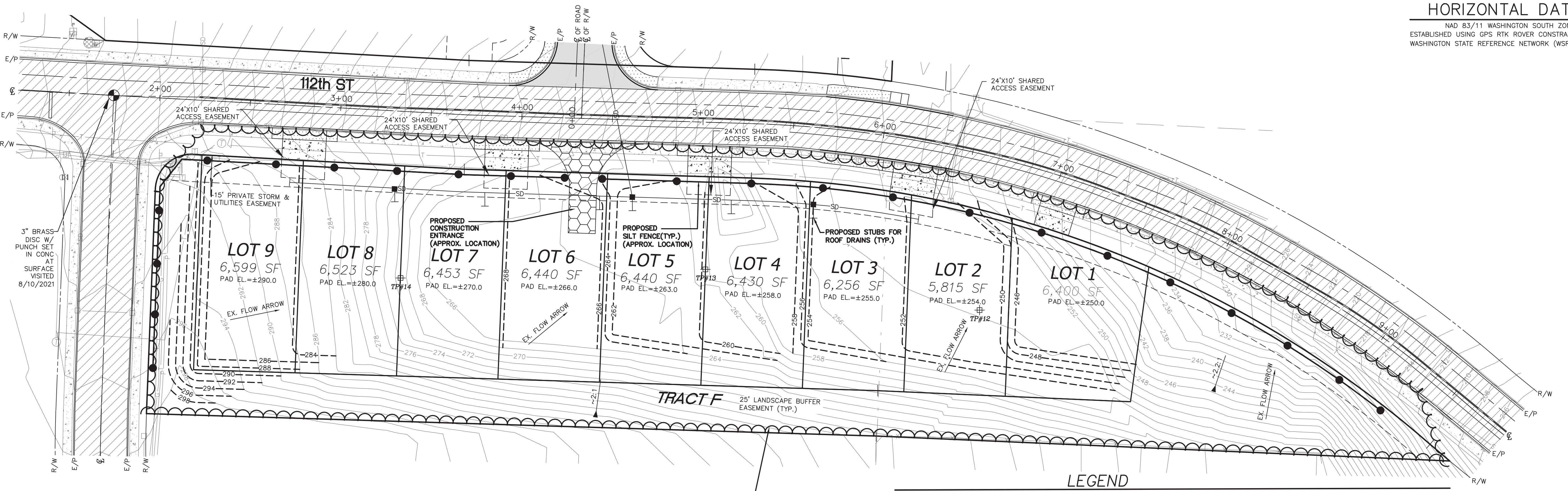
SCALE: 1"=30'
0 15 30 60

CONTOUR INTERVAL=2'

TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS



LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED BUILDING SETBACK LINES
	EASEMENT
	RIGHT OF WAY LINE
	PROPOSED EDGE OF PAVEMENT
	PROPERTY ADJOINER LINE
	EXISTING INTERNAL PROPERTY LINE
	RIGHT OF WAY CENTERLINE
	ROAD CENTERLINE
	EXISTING WOOD FENCE
	EXISTING CHAIN FENCE
	EXISTING WIRE FENCE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING TELEPHONE LINE
	EXISTING POWER LINE
	EXISTING GAS PIPE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER TRANSFORMER
	CONSTRUCTION ENTRANCE
	SILT FENCE
	CLEARING LIMITS
	PROPOSED STORM PIPE
	PROPOSED CATCH BASIN
	GEOTECH TEST PIT LOCATIONS

UTILITY CONFLICT NOTE:

CAUTION:

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POTHOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

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PRELIMINARY

REVISIONS
1. REV. PER CITY COMMENTS 8/2/2022
2. REV. PER CITY COMMENTS 9/15/2022
3. REV. PER CITY COMMENTS 1/23/2023
4. REV. PER CITY COMMENTS 5/16/2023



LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

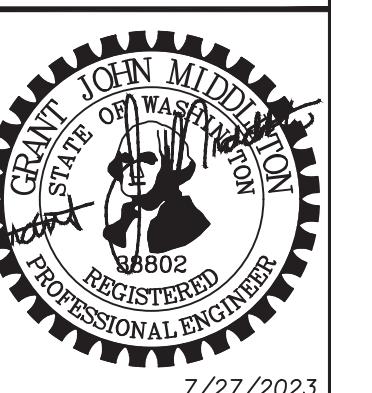
SUMMIT POINTE CONCEPTUAL PLAN

R4

GRADING, DRAINAGE,
& EROSION CONTROL

4

PERMIT NO.	PL-PLATT-21-0002
DRAWING NO.	9700
SHEET OF	19 33
7/27/2023	



SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
TRACT A (PRIVATE ROAD) PROFILE VIEW

Summit Pointe Preliminary Plat
PL-PLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

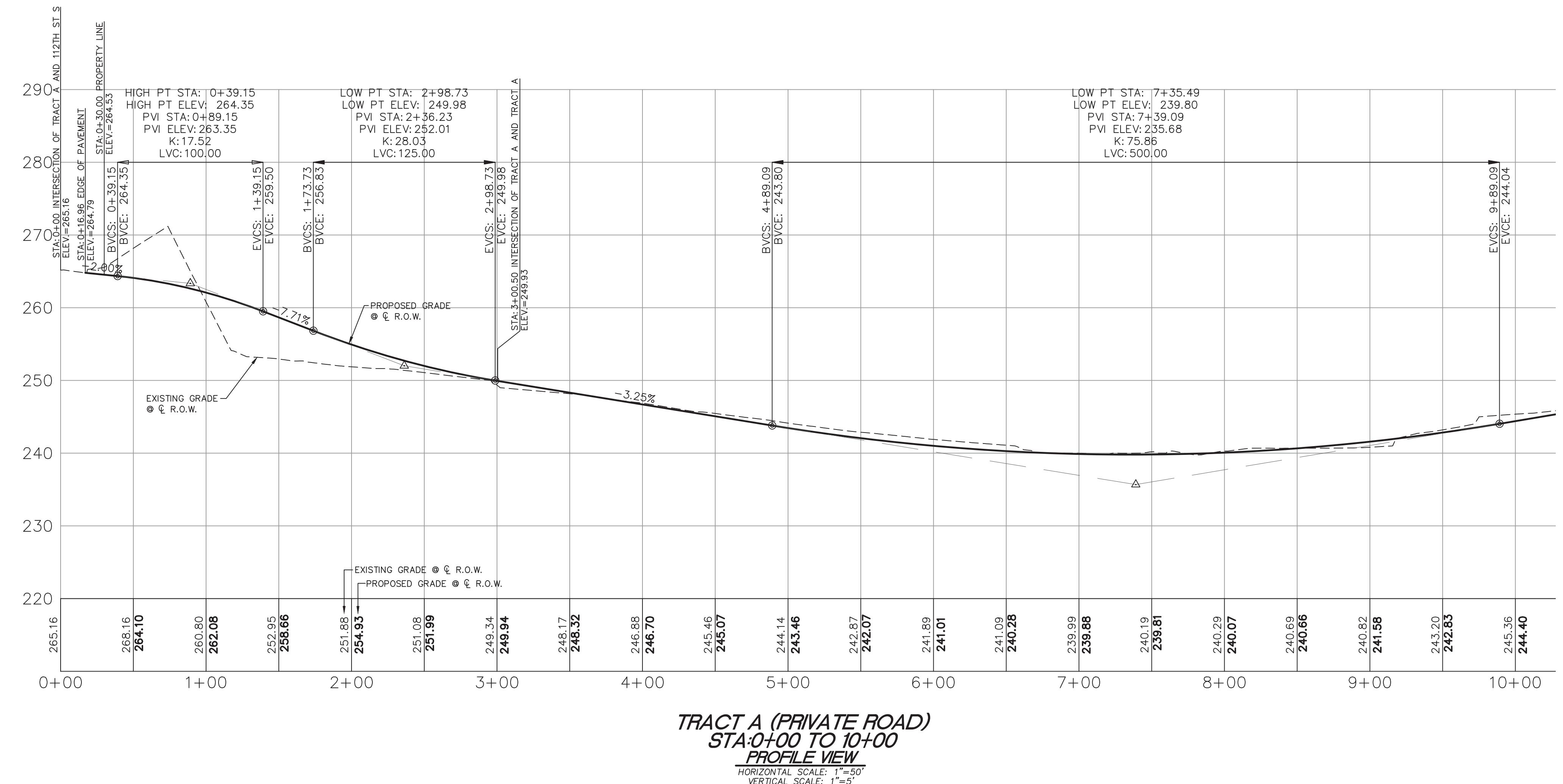


VERTICAL DATUM
(WSRN)

NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M. #64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS



PRELIMINARY

REVISIONS	
1. REV. PER CITY COMMENTS 8/2/2022	
2. REV. PER CITY COMMENTS 9/15/2022	
3. REV. PER CITY COMMENTS 1/23/2023	
4. REV. PER CITY COMMENTS 5/16/2023	

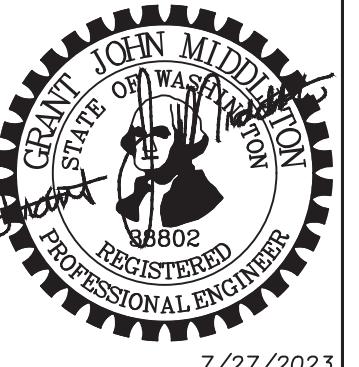


DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

SUMMIT POINTE CONCEPTUAL PLAN

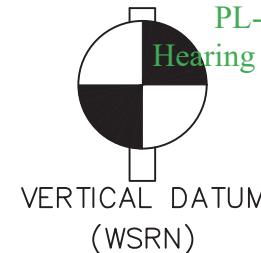
R5
TRACT A (PRIVATE ROAD)
PROFILE VIEW
STA:0+00 TO 10+00

PERMIT NO.
PL-PLATT-21-0002
DRAWING NO.
9700
SHEET OF
20 33



SUMMIT POINTE
 SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
 CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
 TRACT A (PRIVATE ROAD) PROFILE VIEW

Summit Pointe Preliminary Plat
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 Hearing Examiner 11.07.2023
 Exhibit B

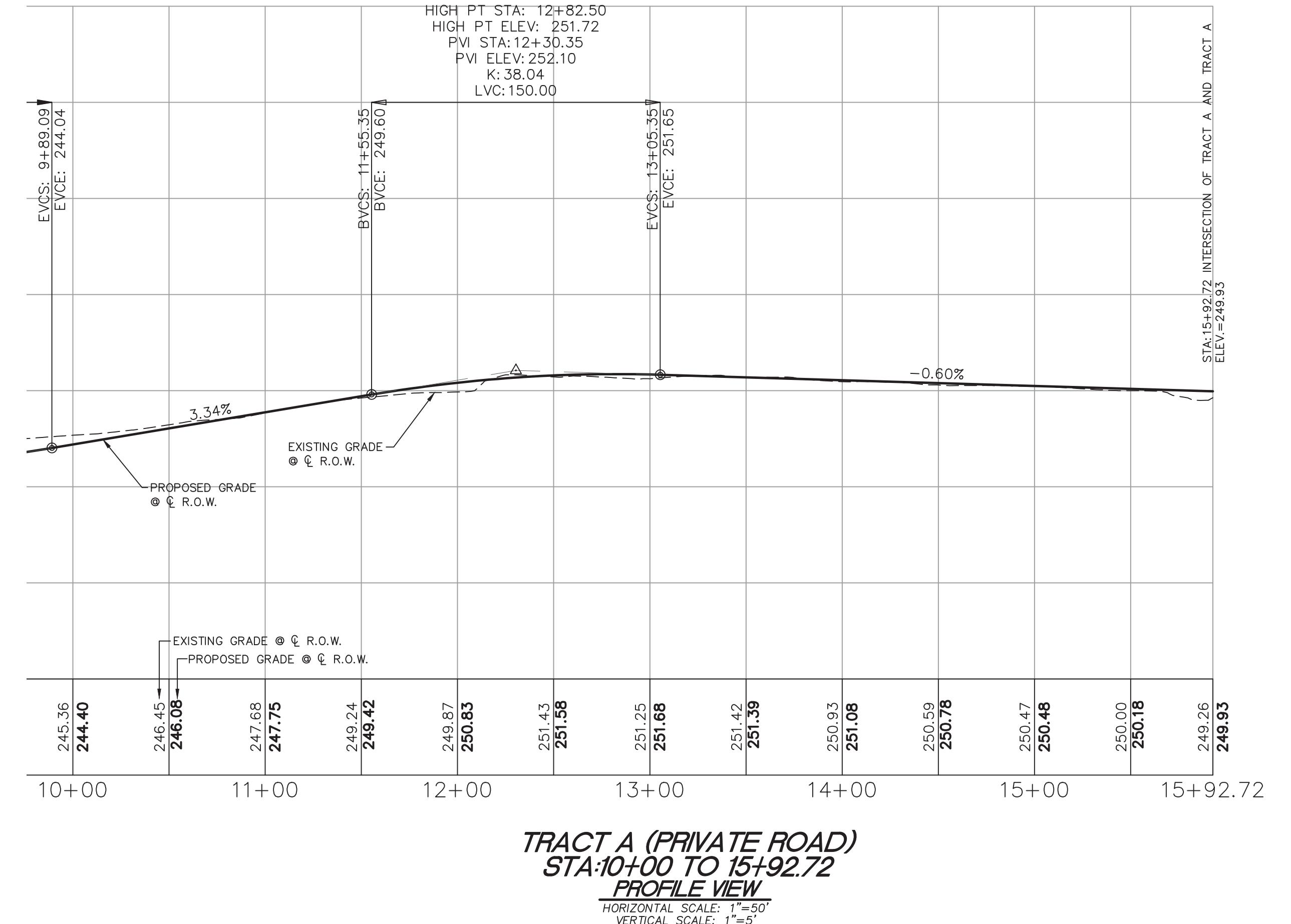


VERTICAL DATUM
 (WSRN)

NAVD 88 ESTABLISHED USING GPS RTK ROVER
 CONSTRAINED TO THE WASHINGTON STATE
 REFERENCE NETWORK (WSRN) STATIONS
 CITY OF GIG HARBOR B.M. #64 3" BRASS DISC W/ PUNCH SET IN
 CONC AT SURFACE VISITED 8/10/2021
 ON 112TH ST & 63RD AVE
 ELEV. 292.69

CONTOUR INTERVAL=2'
 TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
 HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
 ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
 WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS



PRELIMINARY

REVISIONS	
1. REV. PER CITY COMMENTS 8/2/2022	
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4. REV. PER CITY COMMENTS 5/16/2023	



DESIGNED BY: JC
 DRAWN BY: PB
 CHECKED BY: JC
 APPROVED BY: --
 SCALE: AS SHOWN
 OTHER: --

**SUMMIT POINTE
 CONCEPTUAL
 PLAN**

R6	PERMIT NO. PL-PLAT-21-0002
TRACT A (PRIVATE ROAD) PROFILE VIEW STA:10+00 TO 15+92.72	DRAWING NO. 9700
	SHEET OF 21 33



SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
COMPOSITE UTILITY

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PL-PLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

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CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

SCALE: 1"=30'

EX. SEWER EASEMENT NOTE

15'-FT SANITARY SEWER EASEMENT SHOWN PER RECORD
AS-BUILT DRAWING PREPARED BY APEX ENGINEERING
AND APPROVED BY THE CITY IN JULY, 2003.

CONTOUR INTERVAL=2'

TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

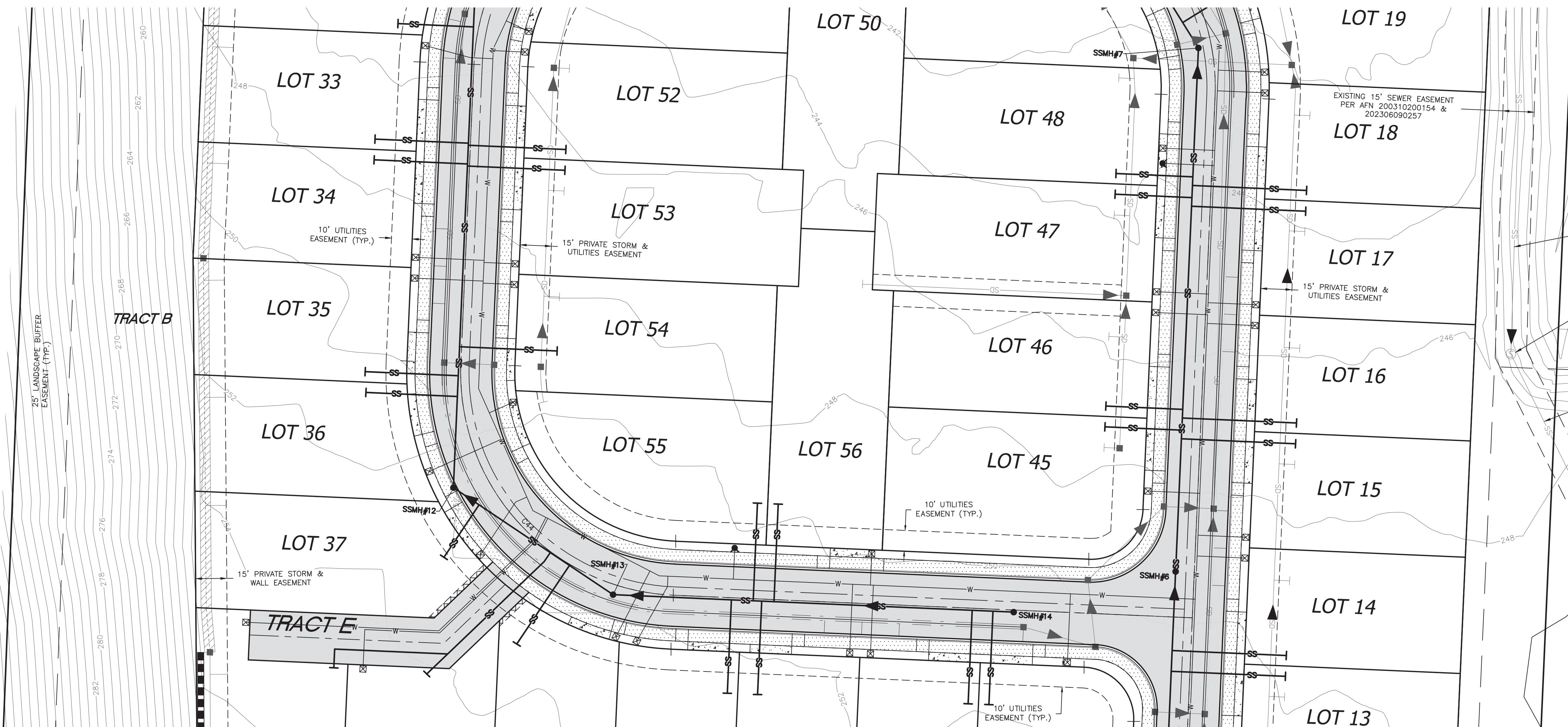
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

-  PROPERTY LINE
-  EXISTING CONTOUR
-  PROPOSED CONTOUR
-  PROPOSED BUILDING SETBACK LINES
-  EASEMENT
-  RIGHT OF WAY LINE
-  PROPOSED EDGE OF PAVEMENT
-  PROPERTY ADJOINER LINE
-  EXISTING INTERNAL PROPERTY LINE
-  RIGHT OF WAY CENTERLINE
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-  EXISTING WOOD FENCE
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-  EXISTING WIRE FENCE
-  EXISTING SANITARY SEWER LINE
-  EXISTING STORM DRAIN PIPE
-  EXISTING TELEPHONE LINE
-  EXISTING POWER LINE
-  EXISTING GAS PIPE
-  EXISTING SANITARY SEWER MANHOLE
-  EXISTING POWER TRANSFORMER
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-  EXISTING CATCH BASIN
-  EXISTING WATER METER
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-  EXISTING WATER VALVE
-  EXISTING FIRE HYDRANT
-  EXISTING WATER BLOWOFF
-  EXISTING HOSE BIB
-  EXISTING TELEPHONE VAULT
-  EXISTING TELEPHONE RISER
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-  EXISTING BOLLARD
-  EXISTING RIP RAP
-  EXISTING CONCRETE SIDEWALK
-  EXISTING PAVEMENT
-  PROPOSED PAVEMENT
-  PROPOSED DRIVEWAY APPROACH
-  PROPOSED SIDEWALK
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PRELIMINARY



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REVISIONS

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- REV. PER CITY COMMENTS 1/23/2023
- REV. PER CITY COMMENTS 5/16/2023



LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY: JC
DRAWN BY: PB
CHECKED BY: JC
APPROVED BY: --
SCALE: AS SHOWN
OTHER: --

SUMMIT POINTE CONCEPTUAL PLAN

UTIL 2

COMPOSITE
UTILITY
2

PERMIT NO.
PL-PLAT-21-0002

DRAWING NO.
9700

SHEET OF
23 33

7/27/2023

SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
COMPOSITE UTILITY

Summit Pointe Preliminary Plat
PL-PLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

NAVD 88 ESTABLISHED USING GPS RTK ROVER

CONSTRAINED TO THE WASHINGTON STATE

REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE

ELEV. 292.69

SCALE: 1"=30'
0 15 30 60

CONTOUR INTERVAL=2'

TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

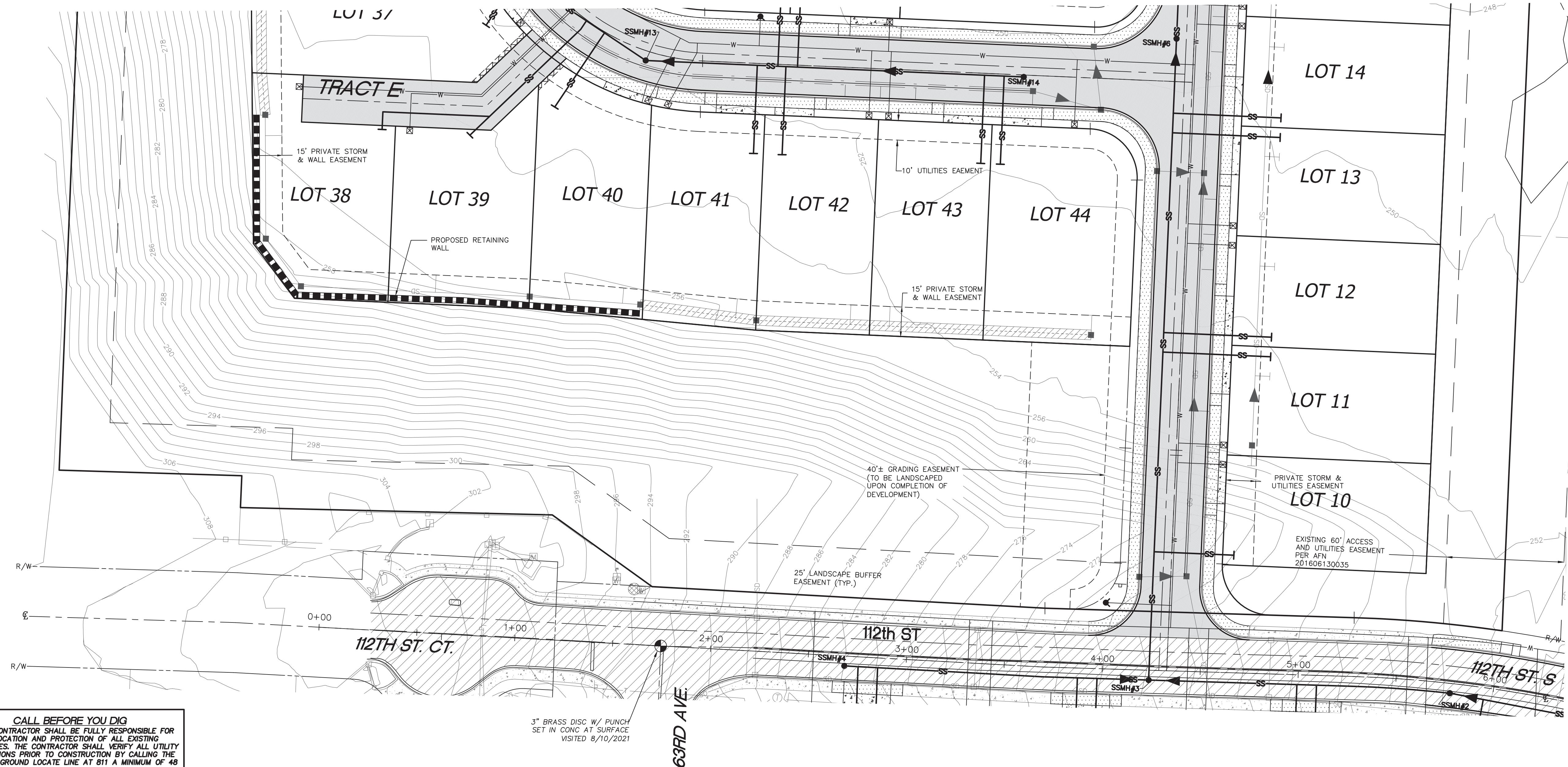
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED BUILDING SETBACK LINES
- EASEMENT
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PRELIMINARY



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LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY: JC
DRAWN BY: PB
CHECKED BY: JC
APPROVED BY: --
SCALE: AS SHOWN
OTHER: --

SUMMIT POINTE CONCEPTUAL PLAN

UTIL 3

COMPOSITE
UTILITY

3

PERMIT NO.

PL-PLAT-21-002

DRAWING NO.

9700

SHEET OF

24 33



7/27/2023

SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
COMPOSITE UTILITY

Summit Pointe Preliminary Plat
PL-PLATT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B



NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

SCALE: 1"=30'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

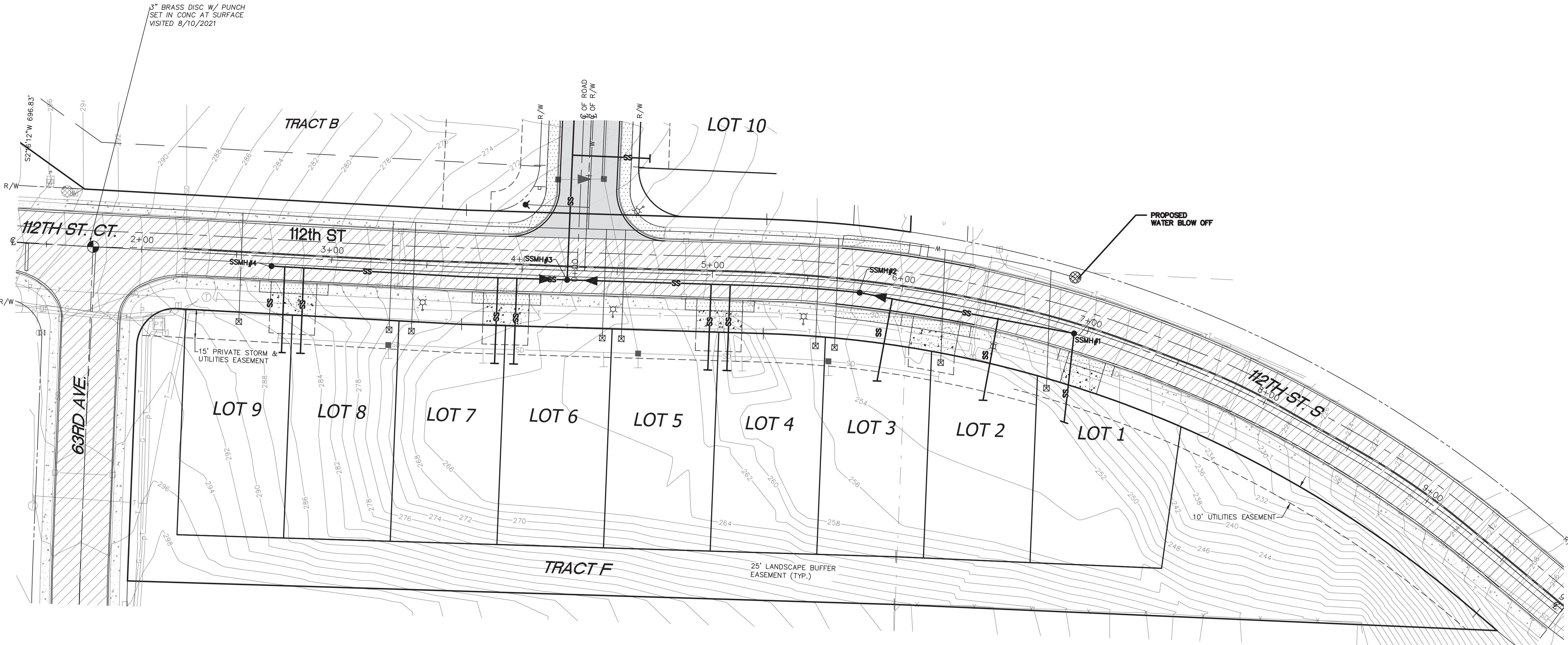
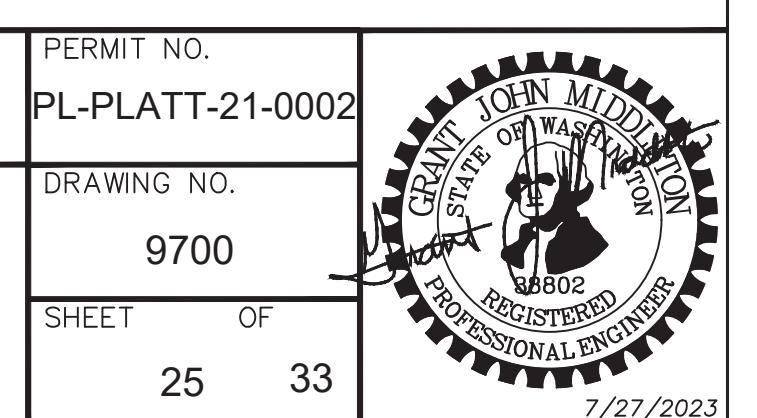
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
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PRELIMINARY



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2. REV. PER CITY COMMENTS 9/15/2022
3. REV. PER CITY COMMENTS 1/23/2023
4. REV. PER CITY COMMENTS 5/16/2023



LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	--
SCALE:	AS SHOWN
OTHER:	--

SUMMIT POINTE CONCEPTUAL PLAN

UTIL 4

COMPOSITE
UTILITY
4

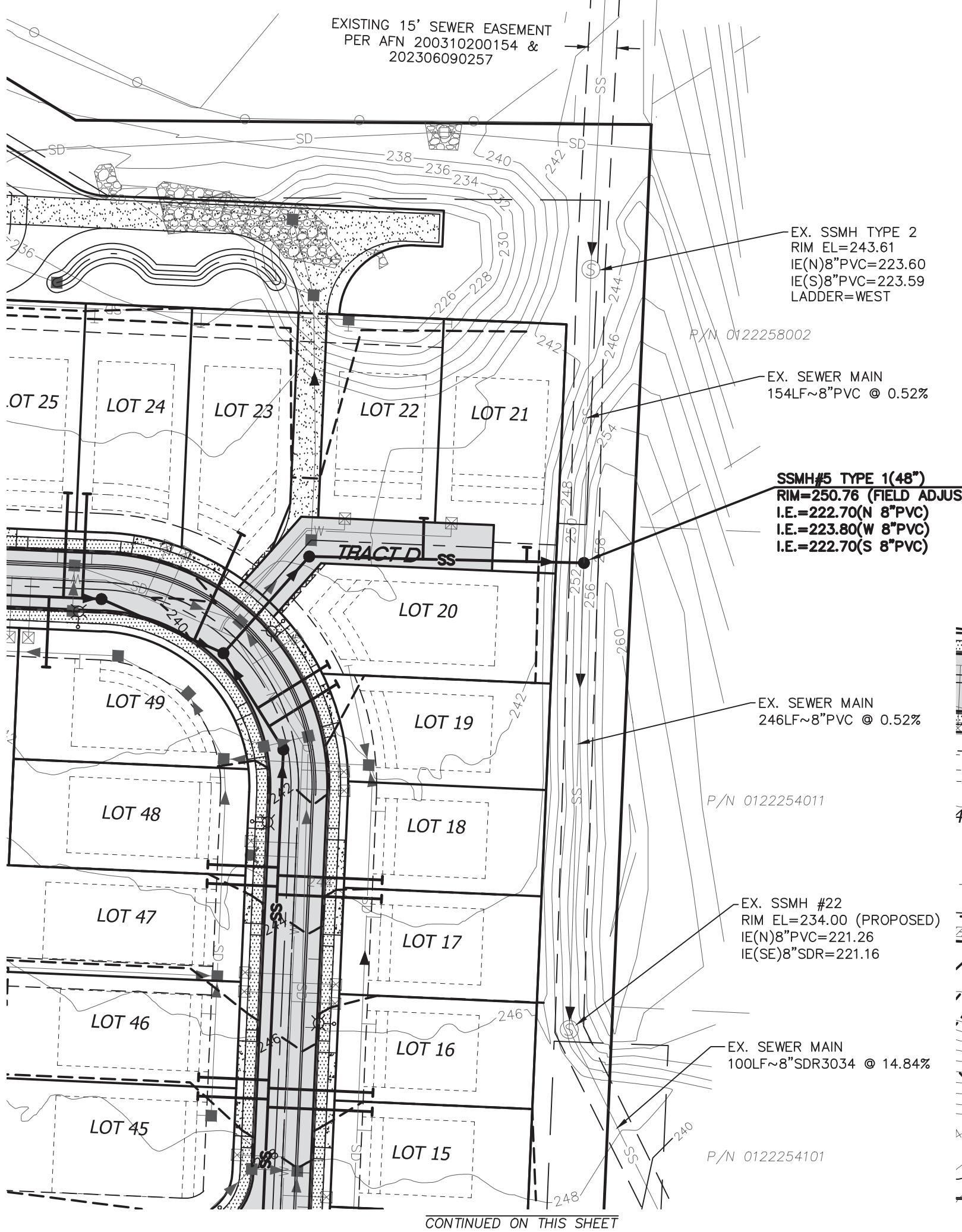
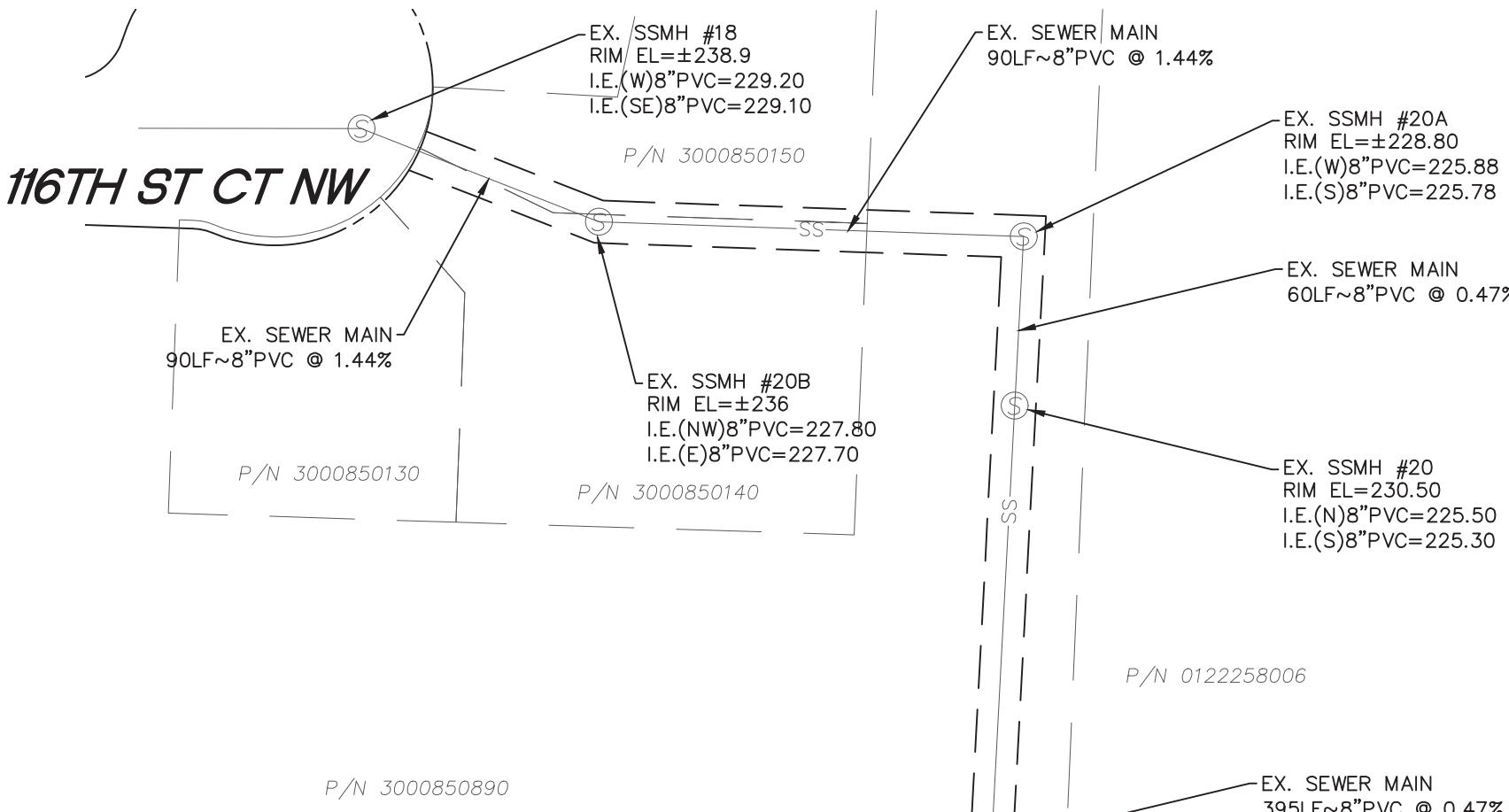
PERMIT NO.
PL-PLATT-21-0002

DRAWING NO.
9700
SHEET OF
25 33

7/27/2023

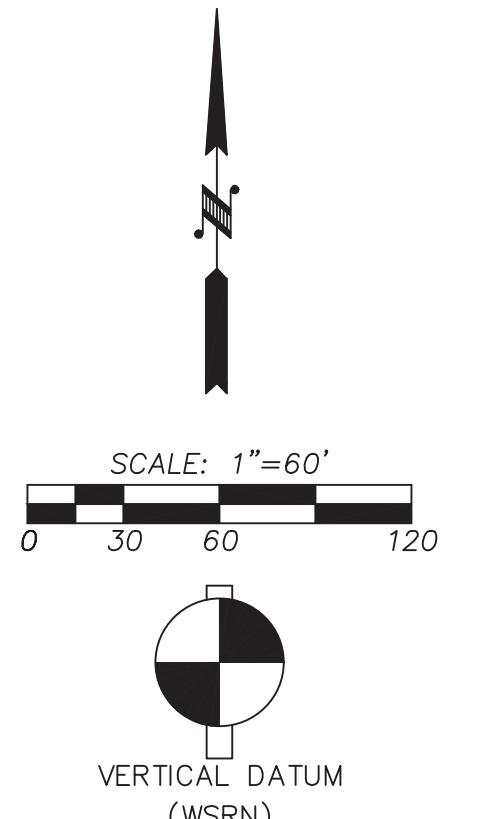
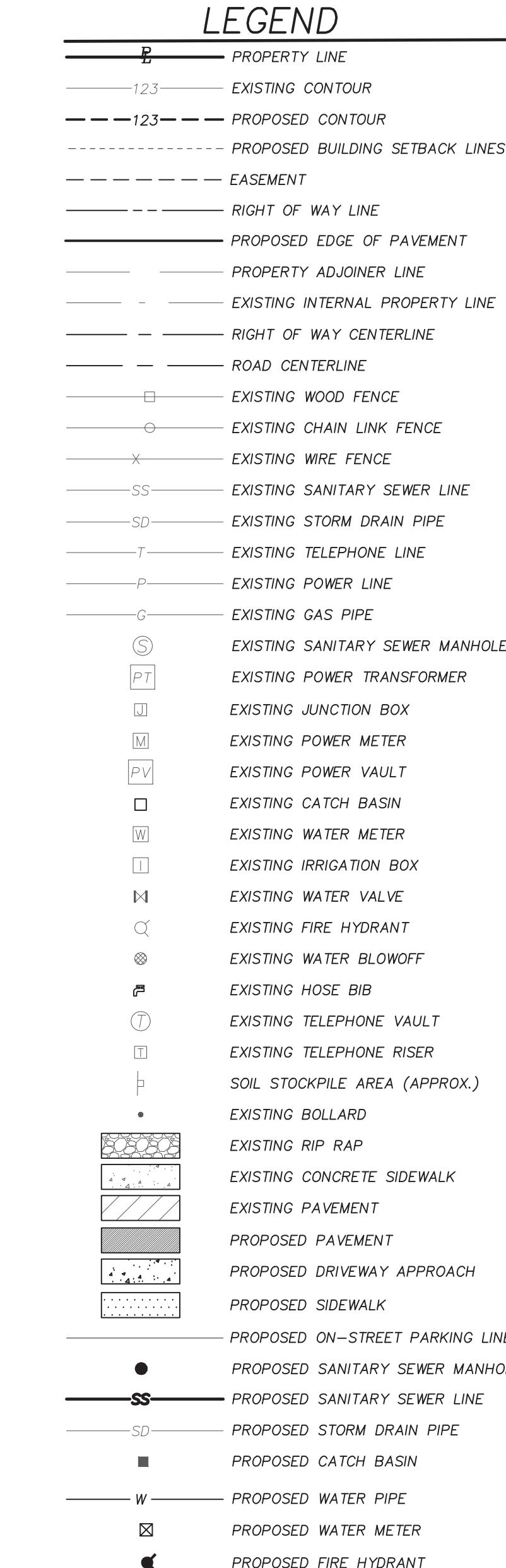
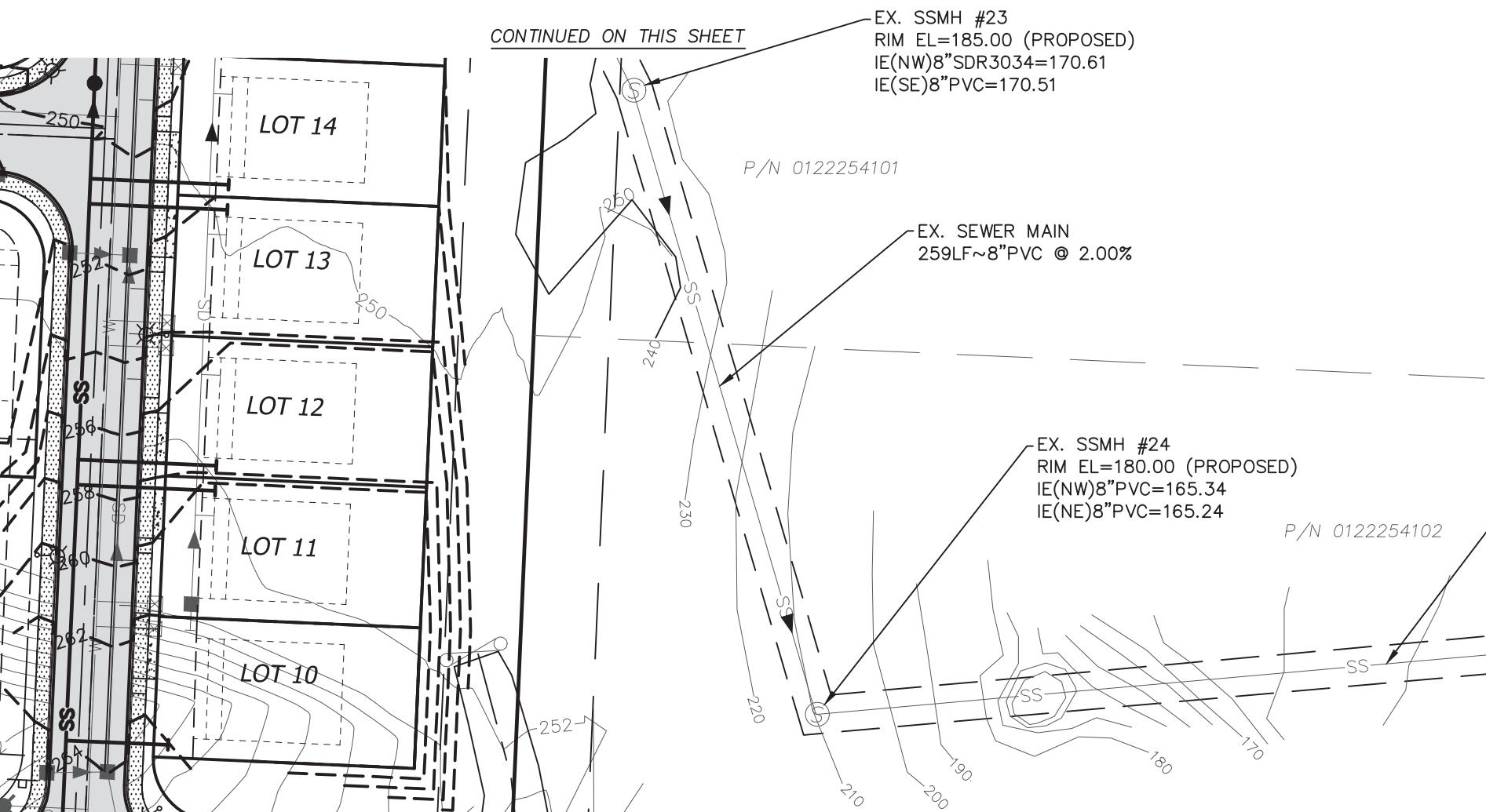
SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON



EX. SEWER EASEMENT NOTE

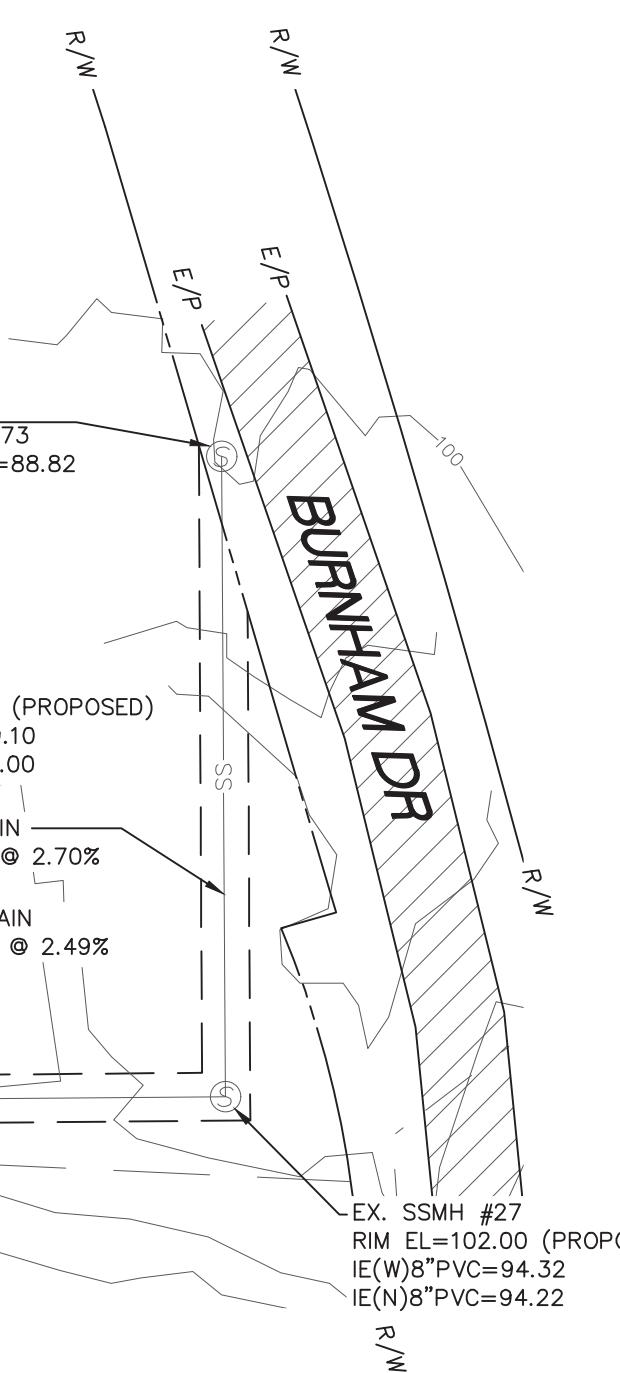
15'-FT SANITARY SEWER EASEMENT SHOWN PER RECORD
AS-BUILT DRAWINGS PREPARED BY APEX ENGINEERING
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NAVD 88 ESTABLISHED USING GPS RTK ROVER
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CITY OF GIG HARBOR B.M.#4 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM
NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS



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DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	--
SCALE:	AS SHOWN
OTHER:	--

SUMMIT POINTE CONCEPTUAL PLAN

OSE	PERMIT NO.
EXISTING OFFSITE SEWER EXTENSION	PL-PLATT-21-0002
	DRAWING NO.
	9700
	SHEET OF
	26 33



GENERAL NOTES

- ALL WORKMANSHIP, MATERIALS AND TESTING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, NATIONAL ELECTRICAL CODE OR CITY OF GIG HARBOR PUBLIC WORKS STANDARDS UNLESS OTHERWISE SPECIFIED BELOW. IN CASES OF CONFLICT, THE MOST STRINGENT STANDARDS SHALL APPLY. WHEN THE MOST STRINGENT STANDARD IS NOT CLEAR, THE CITY ENGINEER WILL MAKE THE DETERMINATION. THE ELECTRICAL CONTRACTOR SHALL BE FAMILIAR WITH ALL THE ABOVE STATED PUBLICATIONS AND GUIDELINES AS THEY WILL BE STRICTLY ENFORCED BY THE STATE OF WASHINGTON DEPARTMENT OF LABOR AND INDUSTRIES.
- THE CONTRACTOR SHALL BE IN COMPLIANCE WITH ALL SAFETY STANDARDS AND REQUIREMENTS AS SET FORTH BY OSHA, WISHA AND THE STATE OF WASHINGTON DEPARTMENT OF LABOR AND INDUSTRIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH WSDOT STANDARD PLANS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION AND/OR THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). PRIOR TO DISRUPTION OF ANY TRAFFIC, A TRAFFIC CONTROL PLAN SHALL BE PREPARED AND SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL. NO WORK SHALL COMMENCE UNTIL ALL APPROVED TRAFFIC CONTROL IS IN PLACE.
- ALL APPROVALS AND PERMITS REQUIRED BY THE CITY OF GIG HARBOR SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- IF CONSTRUCTION IS TO TAKE PLACE IN THE COUNTY AND/OR WASHINGTON STATE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY, THE CONTRACTOR SHALL NOTIFY THE CITY. THE CITY SHALL OBTAIN ALL THE REQUIRED APPROVALS AND PERMITS. THE CONTRACTOR SHALL REIMBURSE THE CITY FOR ASSOCIATED PERMIT FEES.
- ELECTRICAL PERMITS AND INSPECTIONS ARE REQUIRED FOR ALL ROADWAY LIGHTING INSTALLATIONS WITHIN THE CITY OF GIG HARBOR. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING SAID PERMITS PRIOR TO ANY TYPE OF ACTUAL CONSTRUCTION. THESE PERMITS ARE AVAILABLE FROM THE WASHINGTON STATE DEPARTMENT OF LABOR AND INDUSTRIES. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTION FEES ASSOCIATED WITH THE ELECTRICAL SYSTEMS AND SHOULD CONTACT PENINSULA LIGHT CO. AT (253) 857-1541 FOR CONNECTION REQUIREMENTS AND FEE AMOUNTS.
- A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE CITY OF GIG HARBOR CONSTRUCTION INSPECTOR PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO INSTALLATION OF ANY MATERIALS, THE ELECTRICAL CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE CITY THREE COPIES OF MATERIAL CATALOG CUTS, SPECIFICATIONS, SHOP DRAWINGS AND OR WIRING DIAGRAMS. ANY MATERIALS PURCHASED OR LABOR PERFORMED PRIOR TO SUCH APPROVAL SHALL BE AT THE CONTRACTOR'S RISK. MOUNTING HEIGHTS, ARM LENGTH, POWER SOURCE, LUMINAIRE TYPE AND BOLT PATTERN SHALL FOLLOW CITY OF GIG HARBOR PUBLIC WORKS STANDARDS, SECTION 2F.020. MODIFICATIONS OF ANY PORTION OF THE LIGHTING SYSTEM WILL NOT BE ALLOWED WITHOUT PRIOR APPROVAL BY THE CITY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE A COPY OF AN APPROVED SET OF PLANS ON THE CONSTRUCTION SITE AT ALL TIMES.
- ALL SURVEYING AND STAKING SHALL BE PERFORMED PER THE CORRESPONDING SECTION OF THE CITY OF GIG HARBOR PUBLIC WORKS STANDARDS.
- TEMPORARY EROSION/CONTROL WATER POLLUTION MEASURES SHALL BE REQUIRED IN ACCORDANCE WITH SECTION 1-07.15 OF THE WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION AND THE GIG HARBOR STORMWATER MANAGEMENT AND SITE DEVELOPMENT MANUAL. AT NO TIME WILL SILTS AND DEBRIS BE ALLOWED TO DRAIN INTO AN EXISTING OR NEWLY INSTALLED FACILITY UNLESS SPECIAL PROVISIONS HAVE BEEN DESIGNED.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR MAINTAINING ALL LOCATE MARKS ONCE THE UTILITIES HAVE BEEN LOCATED.
- A 500 VOLT MEGGER TEST WILL BE PERFORMED BY THE CONTRACTOR ON EACH CIRCUIT BETWEEN CONDUCTOR AND GROUND PRIOR TO ACCEPTANCE OF THE LIGHTING SYSTEM. THE INSULATION RESISTANCE SHALL NOT BE LESS THAN 6 MEGA OHMS TO GROUND FOR RUNS OVER 2,500 FT. NOR LESS THAN 8 MEGA OHMS FOR RUNS UNDER 2,500 FT. A FUNCTIONAL TEST WILL BE PERFORMED BY THE CITY IN WHICH IT IS DEMONSTRATED THAT EACH AND EVERY PART OF THE SYSTEM FUNCTIONS AS SPECIFIED OR INTENDED HEREIN. WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION 8-20.3(11). LAMP, PHOTOCELL AND FIXTURE SHALL BE UNDER WARRANTY FOR A PERIOD OF TWO YEARS.
- ALL LIGHTING POLES SHALL BE AS SPECIFIED IN SECTION 2F.020 OF THE GIG HARBOR PUBLIC WORKS STANDARDS. THE SONOTUBE FORM SHALL BE REMOVED TO BELOW GROUND LEVEL. POLE BASES SHALL BE GROUTED AND ALL LUMINAIRE HEADS SHALL BE PLUM AND LEVEL.
- CEMENT CONCRETE BASES SHALL FOLLOW CITY OF GIG HARBOR PUBLIC WORKS STANDARDS DETAIL 2-28, DECORATIVE LUMINAIRE BASE. THE DEPTH AND SIZE OF ALL CONCRETE STREET LIGHT FOUNDATIONS SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER BASED ON SOIL CONDITIONS, POLE HEIGHT, WIND LOAD, ETC. DESIGN CRITERIA AND CALCULATIONS SHALL BE SUBMITTED TO THE CITY WITH ILLUMINATION PLAN SUBMITTAL.
- THE PHOTO CELL WINDOW SHALL FACE NORTH UNLESS OTHERWISE DIRECTED BY THE CITY. THE SERVICE DISCONNECT SHALL NOT BE MOUNTED ON THE LUMINAIRE POLE. THE SERVICE DISCONNECT SHALL BE MANUFACTURED BY SKYLINE ELECTRIC AND MFG. COMPANY, SEE DETAIL 2-23.
- ALL LIGHTING WIRES SHOULD BE COPPER WITH A MINIMUM SIZE OF #8. ALL WIRES SHALL BE SUITABLE FOR WET LOCATIONS. ALL WIRES SHALL BE INSTALLED IN SCHEDULE 40 PVC CONDUIT WITH A MINIMUM DIAMETER OF 2 INCHES. A BUSHING OR BELL-END SHALL BE USED AT THE END OF A CONDUIT THAT TERMINATES AT A JUNCTION BOX OR LUMINAIRE POLE. CONDUCTOR IDENTIFICATION SHALL BE AN INTEGRAL PART OF THE INSULATION OF THE CONDUCTORS THROUGHOUT THE SYSTEM I.E., COLOR CODED WIRE. EQUIPMENT GROUNDING CONDUCTORS SHALL BE #8 COPPER. ALL SPLICES OR TAPS SHALL BE MADE BY APPROVED METHODS UTILIZING EPOXY KITS RATED AT 600 VOLTS (I.E., 3-M 82-A2). ALL SPLICES SHALL BE MADE WITH PRESSURE TYPE CONNECTORS (WIRE NUTS WILL NOT BE ALLOWED). DIRECT BURIAL WIRE WILL NOT BE ALLOWED. ALL OTHER INSTALLATION SHALL CONFORM TO NEC, WSDOT AND MUTCD STANDARDS.
- EACH LUMINAIRE POLE SHALL HAVE AN IN-LINE, FUSED, WATERTIGHT ELECTRICAL DISCONNECT LOCATED AT THE BASE OF THE POLE. ACCESS TO THESE FUSED DISCONNECTS SHALL BE THROUGH THE HAND-HOLE ON THE POLE. THE HAND-HOLE SHALL BE FACING AWAY FROM ONCOMING TRAFFIC. ADDITIONAL CONDUCTOR LENGTH SHALL BE LEFT INSIDE THE POLE AND PULL OR JUNCTION BOX EQUAL TO A LOOP HAVING A DIAMETER OF ONE FOOT. LOAD SIDE OF IN-LINE FUSE TO LUMINAIRE HEAD SHALL BE CABLE POLE AND BRACKET WIRE, 2 CONDUCTOR, 19 STRAND COPPER #10 AND SHALL BE SUPPORTED AT THE END OF THE LUMINAIRE ARM BY AN APPROVED MEANS. FUSE SIZE, DISCONNECT INSTALLATION AND GROUNDING IN POLE SHALL CONFORM TO NEC STANDARDS.
- APPROVED POLE BOXES OR JUNCTION BOXES SHALL BE INSTALLED WHEN CONDUIT RUNS ARE MORE THAN 200 FEET. IN ADDITION, A PULL BOX OR JUNCTION BOX SHALL BE LOCATED WITHIN 10 FEET OF EACH LUMINAIRE POLE AND AT EVERY ROAD CROSSING. BOXES SHALL BE CLEARLY AND INDELIBLY MARKED AS LIGHTING BOXES BY THE LEGEND, "LT" OR "LIGHTING". SEE WSDOT STANDARD PLAN J-40.10-04. AT THE END OF THE PROJECT FOLLOWING FINAL ACCEPTANCE FROM CITY INSPECTOR, ALL JUNCTION BOXES SHALL BE "TACK" WELDED CLOSED. TACK WELDS ARE TO PREVENT WIRE THEFT AND SHALL BE TWO 1" LONG WELDS ON OPPOSITE SIDES OF LID. WELDS WILL THEN BE TREATED WITH COLD GALVANIZING SPRAY.
- ANY MODIFICATION TO APPROVED LIGHTING PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY PRIOR TO INSTALLATION. ANY APPROVED MODIFICATION SHALL BE SHOWN ON THE RECORD DRAWINGS SUPPLIED TO THE CITY AFTER THE LIGHTING INSTALLATION IS COMPLETED AND BEFORE FINAL ACCEPTANCE. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE THESE RECORD DRAWINGS ARE PROVIDED TO THE CITY.

LEGEND

	LIGHT STANDARD AND LUMINAIRE, 2-28, 2-30, 2-31, 2-35 (MOD.), 2-36
	TYPE 1 JUNCTION BOX, J-40.10-04
	TYPE 2 JUNCTION BOX, J-40.10-04
	CONDUIT
	ELECTRICAL SERVICE CABINET, 2-23
	CONSTRUCTION NOTE
	WIRE NOTE

CONSTRUCTION NOTES

- CONSTRUCT FOUNDATION/BORDER AND INSTALL 20' LIGHT STANDARD, LUMINAIRE, JUNCTION BOX, CONDUIT AND CONDUCTORS. USE CITY OF GIG HARBOR STANDARD DETAILS 2-28, 2-30, 2-35 (MODIFIED), WSDOT STANDARD PLAN J-28.30-03 (EXCEPT ANCHOR BOLTS AND BOLT CIRCLE SHALL MATCH POLE MANUFACTURER RECOMMENDATION), AND LUMINAIRE SCHEDULE.
- CONSTRUCT FOUNDATION/BORDER AND INSTALL 30' LIGHT STANDARD, LUMINAIRE, JUNCTION BOX, CONDUIT AND CONDUCTORS. USE CITY OF GIG HARBOR STANDARD DETAILS 2-28, 2-31, 2-36 (MODIFIED), WSDOT STANDARD PLAN J-28.30-03 (EXCEPT ANCHOR BOLTS AND BOLT CIRCLE SHALL MATCH POLE MANUFACTURER RECOMMENDATION), AND LUMINAIRE SCHEDULE.
- CONSTRUCT FOUNDATION AND INSTALL 120/240 SINGLE PHASE ELECTRICAL SERVICE CABINET. USE CITY OF GIG HARBOR STANDARD DETAIL 2-23 AND WSDOT STANDARD PLAN J-10.10-04, SINGLE PAD MOUNT SIZED FOR CABINET.
- COORDINATE WITH SERVING UTILITY COMPANY FOR POINT OF ELECTRICAL SERVICE. ROUTE SERVICE ENTRANCE CONDUIT AND CONDUCTORS TO POINT OF SERVICE PER WIRING SCHEDULE AND UTILITY COMPANY REQUIREMENTS. COORDINATE WITH UTILITY COMPANY FOR SERVICE CONNECTION.

WIRING SCHEDULE

CONDUIT RUN	CONDUIT SIZE/TYPE	CONDUCTORS				REMARKS
		POWER #2	ILLUM #8	PHOTO CELL #14	GROUND #8	
1	2" SCHEDULE 40 PVC		2		1	
2	2" SCHEDULE 40 PVC		2	3	1	
3	2" SCHEDULE 40 PVC				1	SPARE, INSTALL PULL CORD
4	2" SCHEDULE 80 PVC		3		1	SERVICE

LED LUMINAIRE SCHEDULE

CITY OF GIG HARBOR SERVICE				120/240V SINGLE PHASE		
LUMINAIRE NUMBER	CIRCUIT	LOCATION	LUMEC LUMINAIRE MODEL NO.	MAST ARM	H1	BASE FOUNDATION TYPE
		STATION OFFSET				
1	A	A 1+46.98	28.21' RT [TR20-009]-135W80LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	30'	FIXED A
2	A	A 2+59.42	25.50' LT TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	20'	FIXED A
3	A	A 3+94.00	25.50' LT [TR20-009]-135W80LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	30'	FIXED A
4	A	A 5+16.14	25.50' LT TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	20'	FIXED A
5	A	A 6+37.68	26.50' LT TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	20'	FIXED A
6	A	A 7+66.74	25.50' LT TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	20'	FIXED A
7	A	B 1+05.27	23.50' LT TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	20'	FIXED A
8*	A	B 2+35.03	23.50' RT TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	20'	FIXED A
9	A	B 3+30.69	33.02' LT [TR20-009]-135W80LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	30'	FIXED A
10	A	B 4+22.47	23.50' RT TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	20'	FIXED A
11	A	B 5+34.32	23.50' RT TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	20'	FIXED A
12	A	B 6+46.02	23.50' LT TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	20'	FIXED A
13	A	B 7+72.24	23.50' LT TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	20'	FIXED A
14	A	B 9+00.00	23.50' LT TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	20'	FIXED A
15	A	B 10+01.10	23.50' RT TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	20'	FIXED A
16	A	B 11+07.23	23.50' LT TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	20'	FIXED A
17	A	B 12+13.83	23.50' RT TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	20'	FIXED A
18	A	B 13+24.31	23.50' LT TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	20'	FIXED A
19	A	B 14+52.18	23.50' RT TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX	2'	20'	FIXED A

* INSTALL PHOTOCELL ON LUMINAIRE.

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DESIGNED	RMH
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FOR:
RUSH RESIDENTIAL, INC.
6622 Wolloch Drive
Gig Harbor, WA 98335



HTE HERMAN TRAFFIC ENGINEERING, INC.
11215 Southeast 220th Place, Kent, Washington 98031
253-236-4941 tel. hte@comcast.net

CITY OF GIG HARBOR
WASHINGTON
SUMMIT POINTE
ILLUMINATION LEGEND, NOTES & SCHEDULES
1 OF 7 SHEETS

PORTION SEC. 25, T.22N., R.1E., W.M.

Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B



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SUMMIT POINTE

IL2

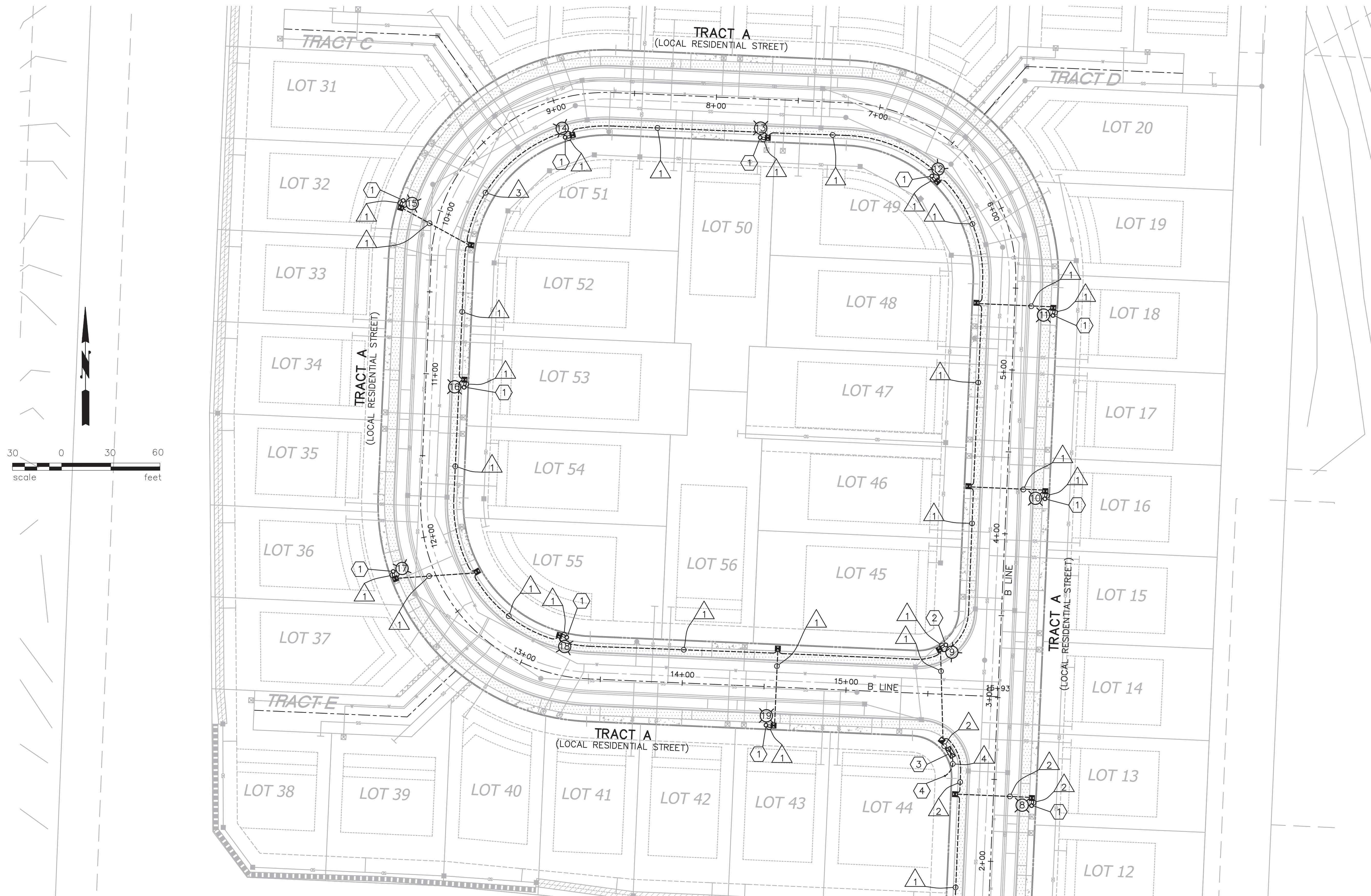
ILLUMINATION PLAN

SHEET

2 OF 7 SHEETS

PORTION SEC. 25, T.22N., R.1E., W.M.

Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B



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FOR:

RUSH RESIDENTIAL, INC.
6622 Wollochet Drive
Gig Harbor, WA 98335



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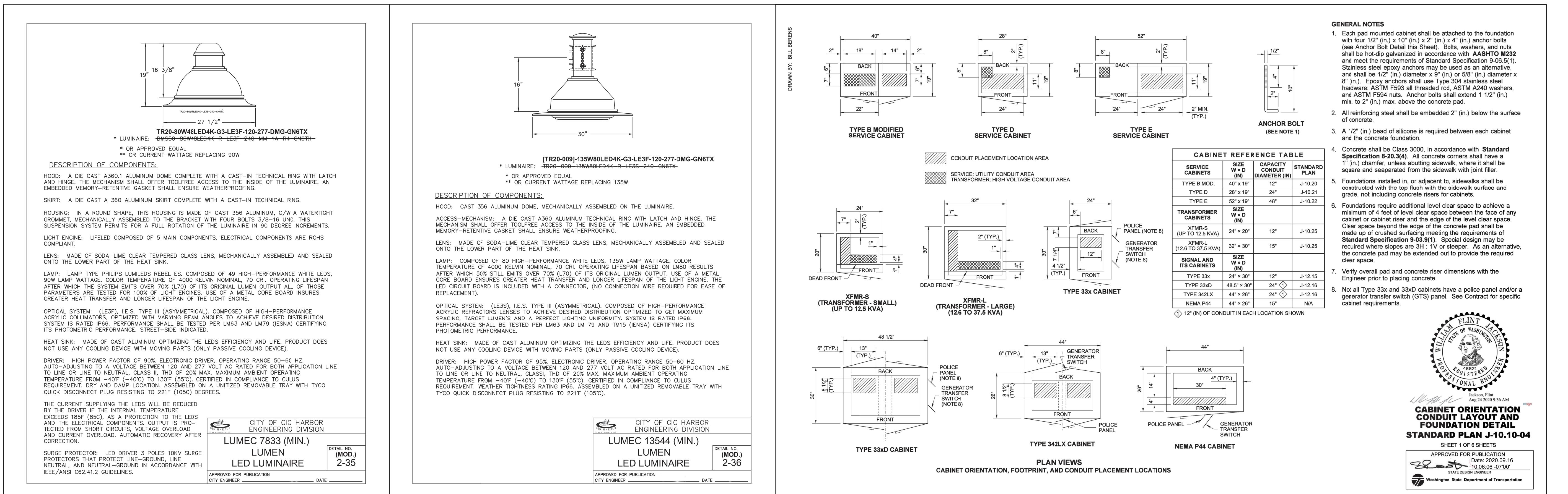
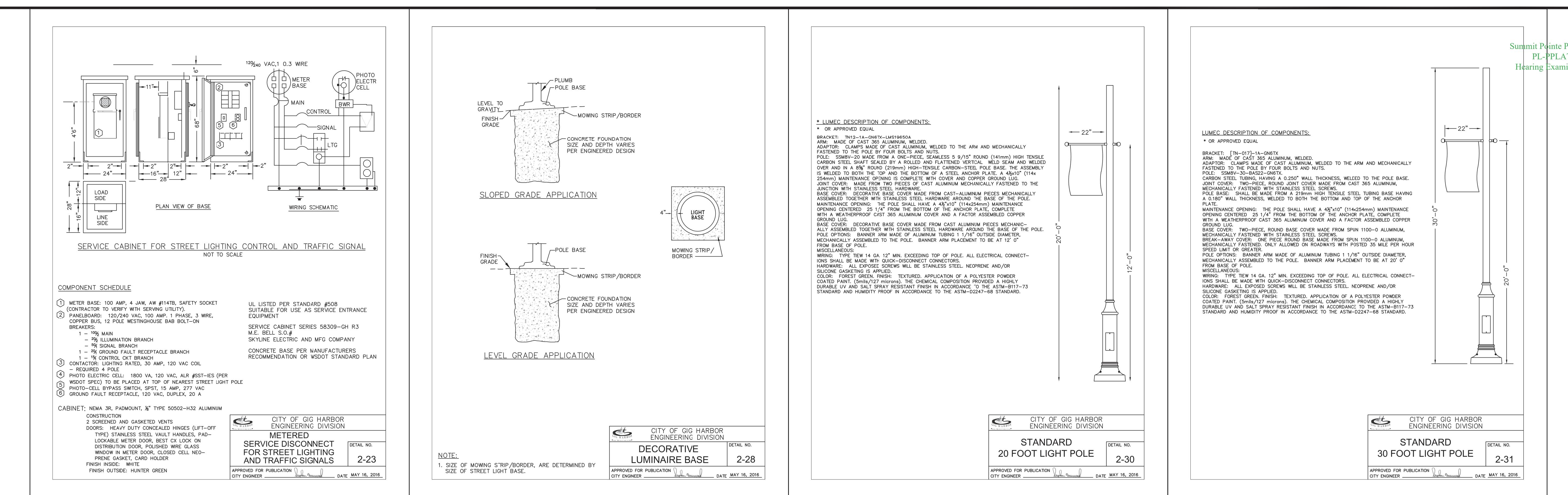
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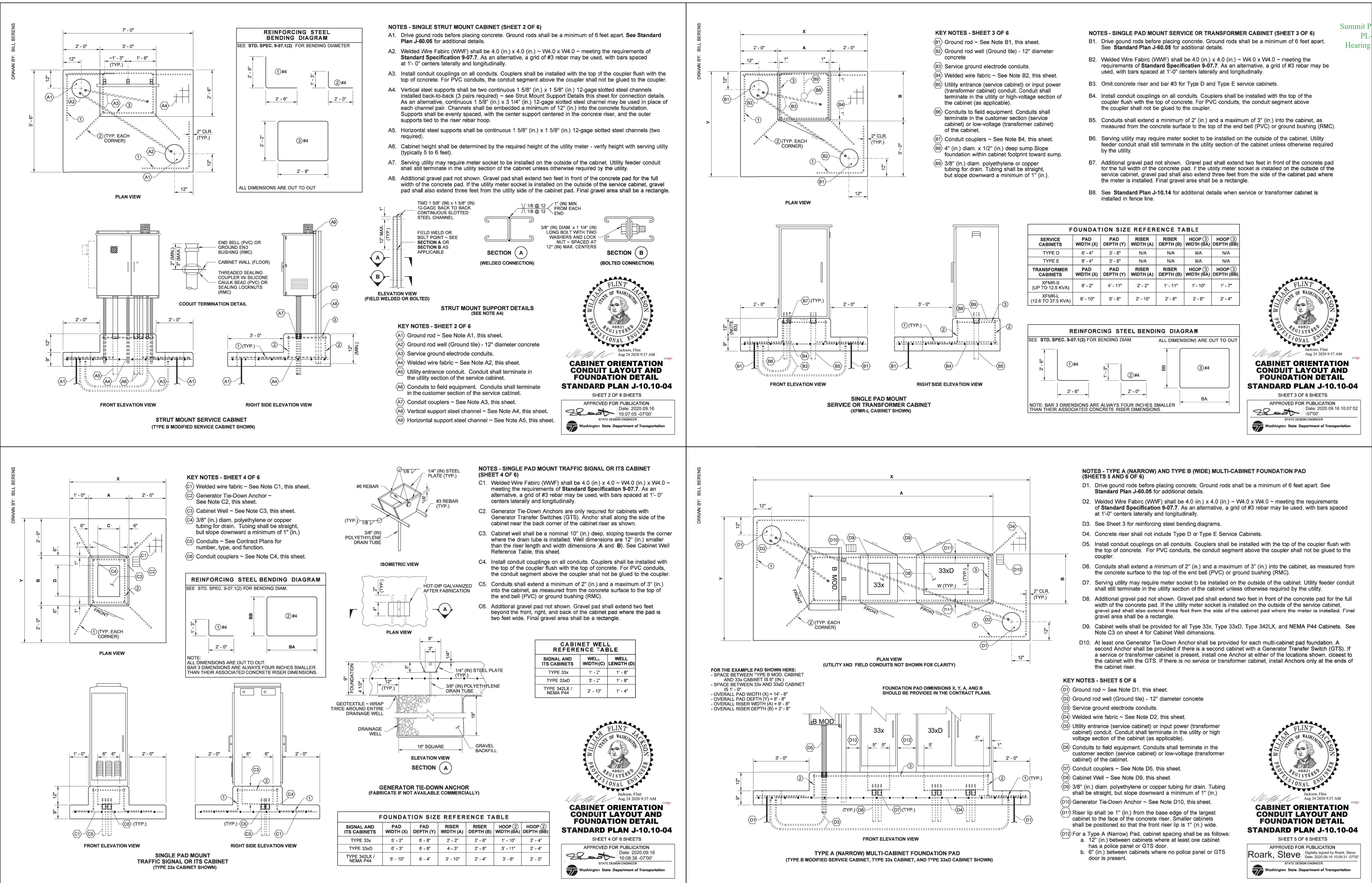
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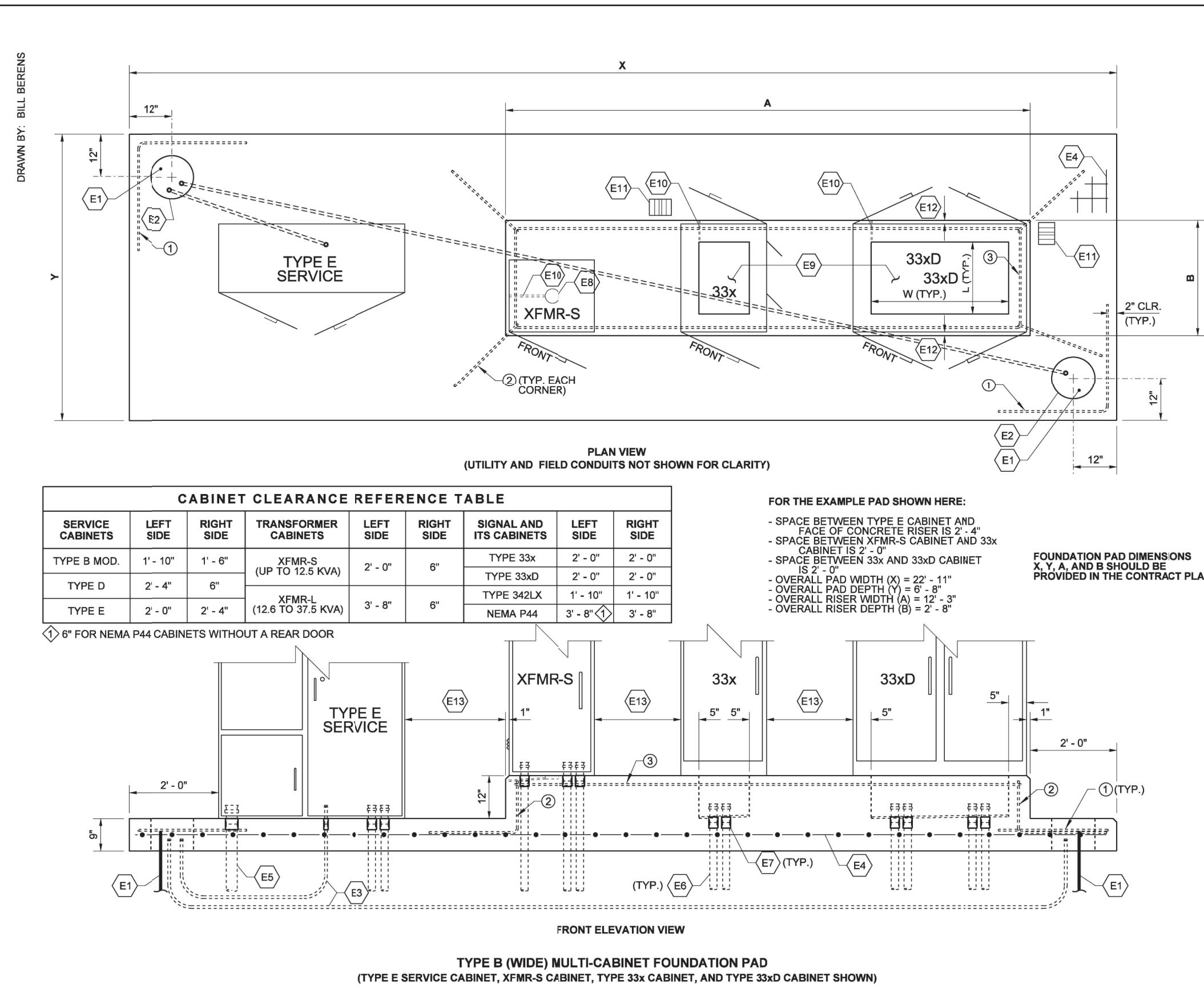
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3 OF 7 SHEETS



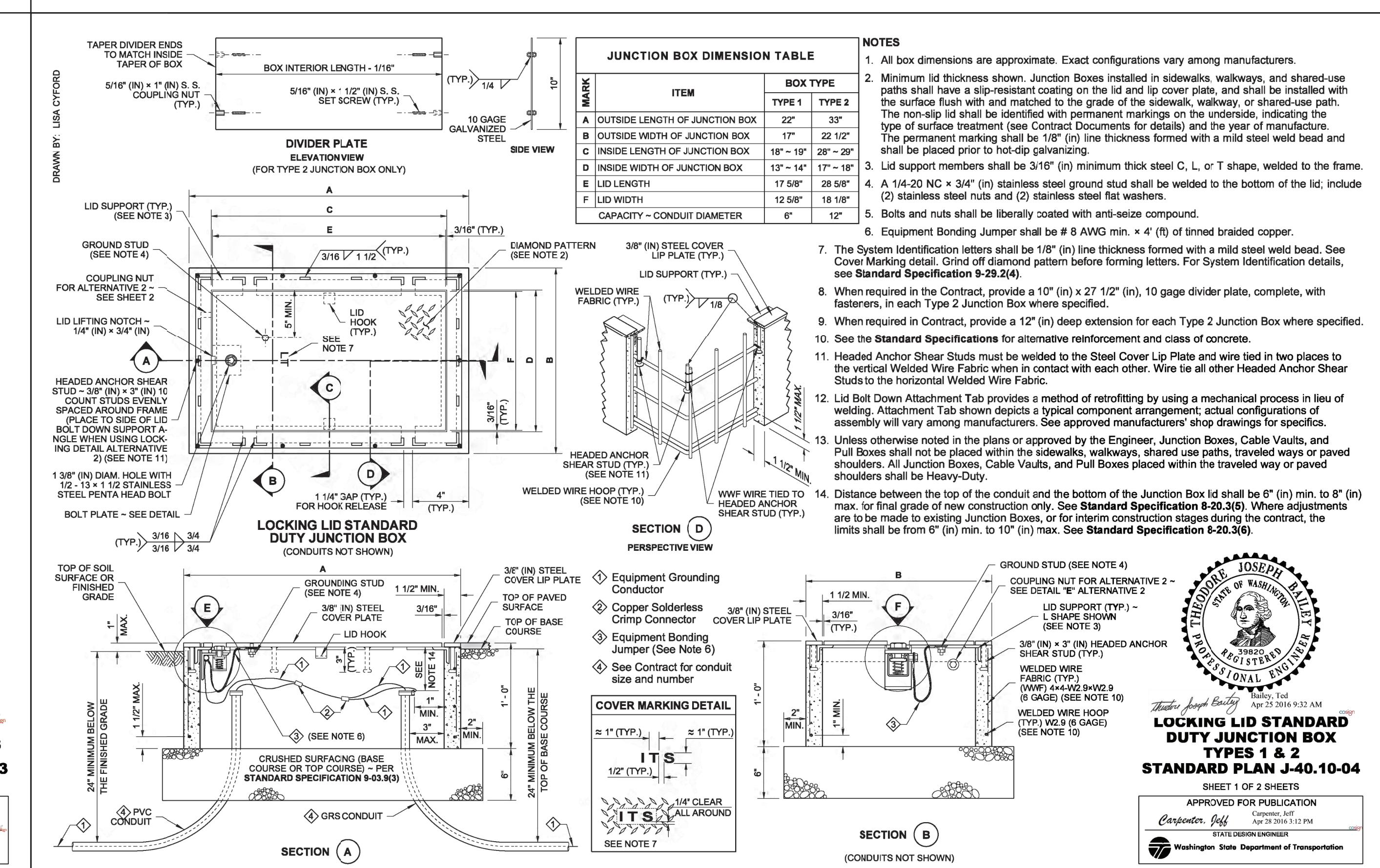
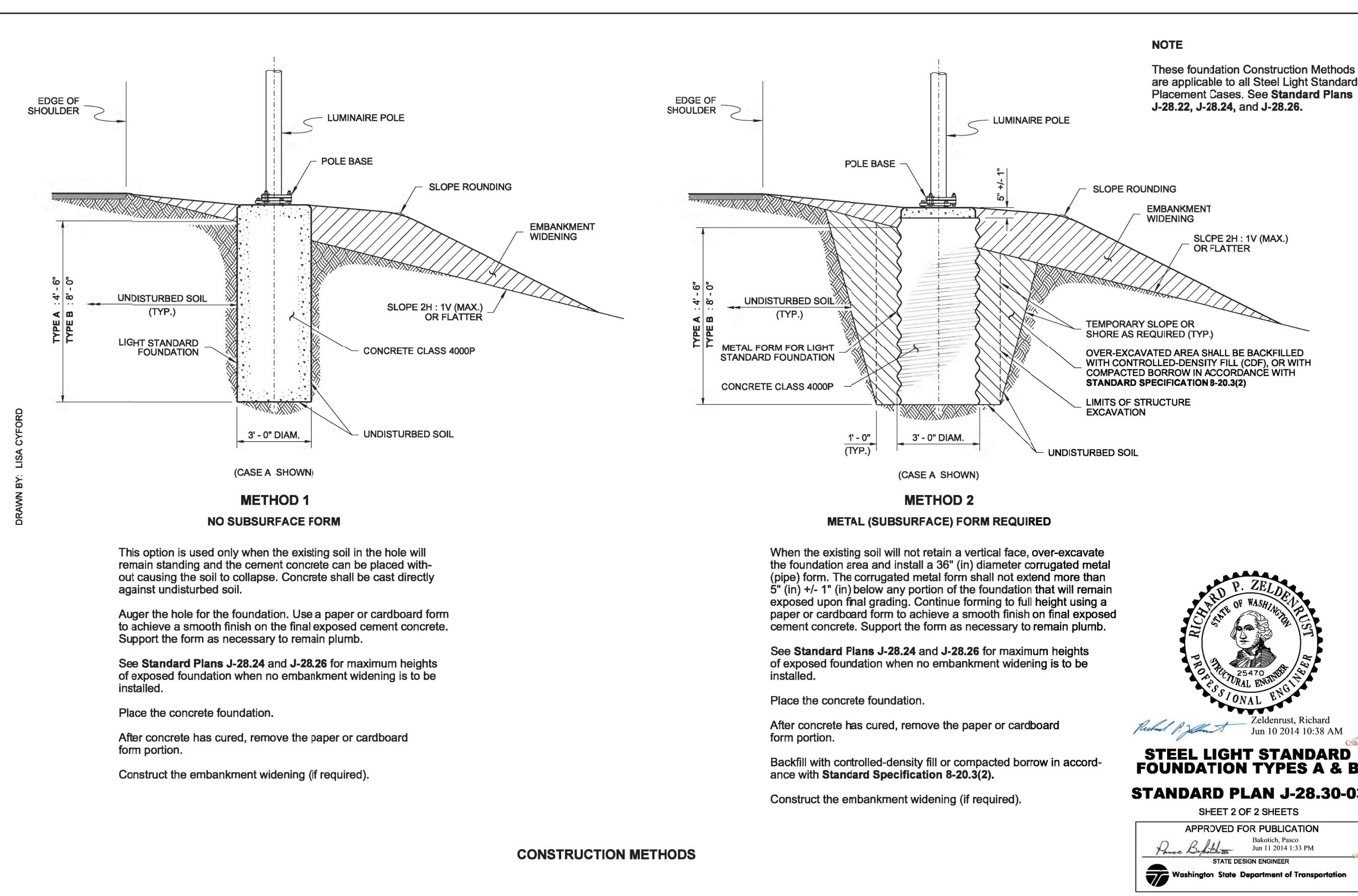
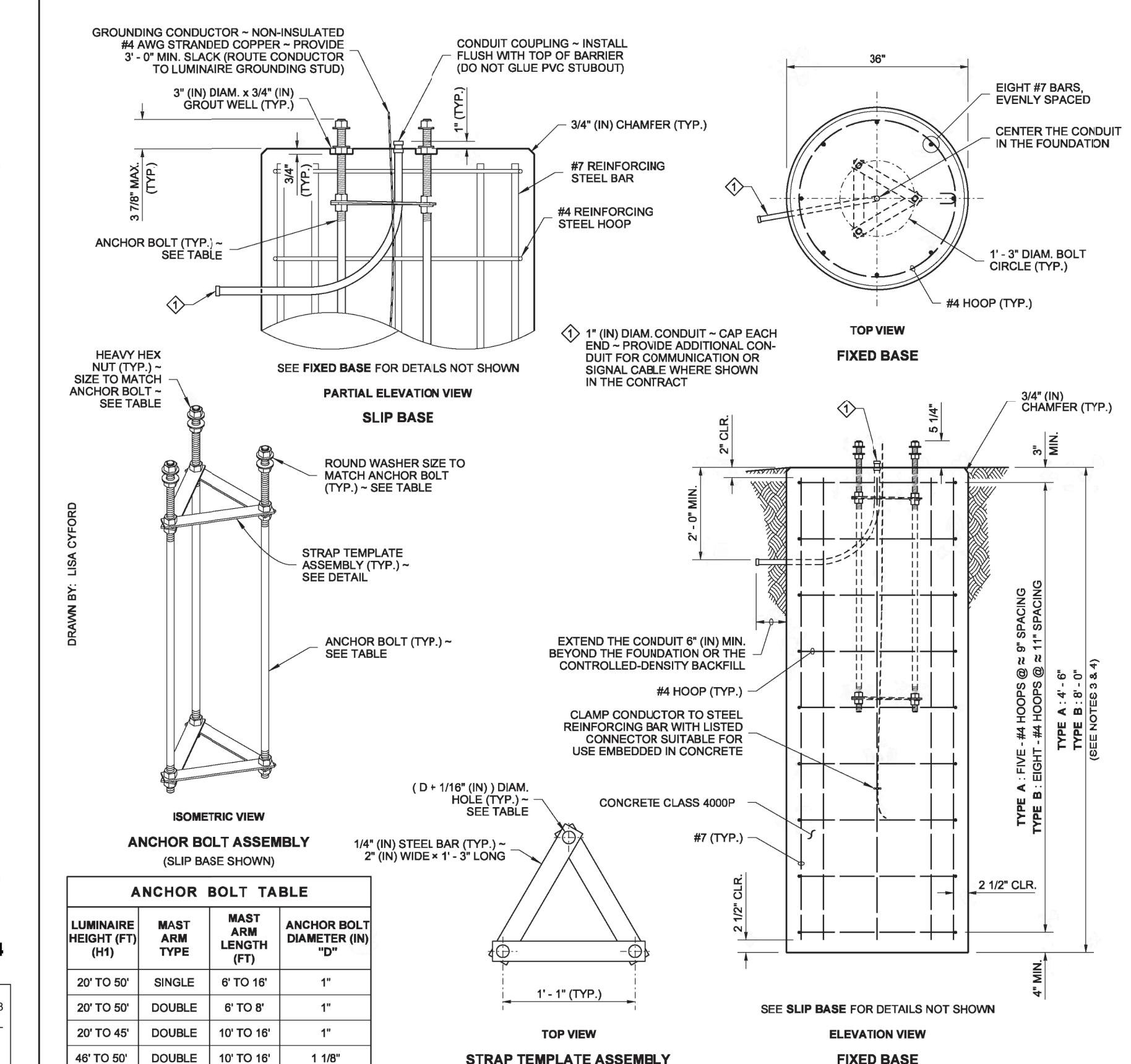
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SUMMIT POINTE		ILLUMINATION STANDARD DETAILS		IL 4 4 OF 7 SHEETS			





KEY NOTES - SHEET 6 OF 6

E1 Ground rod ~ See Note D1, Sheet 5 of 6.
E2 Ground rod well (Ground tile) - 12" diameter concrete
E3 Service ground electrode conduits.
E4 Welded wire fabric - See Note D2, Sheet 5 of 6.
E5 Utility entrance (service cabinet) or input power (transformer cabinet) conduit. Conduit shall terminate in the utility or high voltage section of the cabinet (as applicable).
E6 Conduits to field equipment. Conduits shall terminate in the customer section (service cabinet) or low-voltage (transformer cabinet) of the cabinet.
E7 Conduit couplers ~ See Note D5, Sheet 5 of 6.
E8 4" (in) diam. x 1/2" (in) deep dump. Slope foundation within cabinet footprint toward dump.
E9 Cabinet Well ~ See Note D9, Sheet 5 of 6.
E10 3/8" (in) diam. polyethylene or copper tubing for drain. Tubing shall be straight, but slope downward a minimum of 1" (in).
E11 Generator Tie-Down Anchors ~ See Note D10, Sheet 5 of 6.
E12 Riser lip shall be 1" (in) from the base edge of the isolating cabinet to the face of the concrete riser. Smaller cabinets shall be positioned so that the front riser lip is 1" (in) wide.
E13 For a Type B (Wide) Pad, spacing between the cabinets shall match the widest of the two adjacent cabinets. For Type D and Type E Service Cabinets, the clearance is to the face of the adjacent concrete riser (when present). See left and right clearance table this sheet.



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CONSTRUCTION METHODS

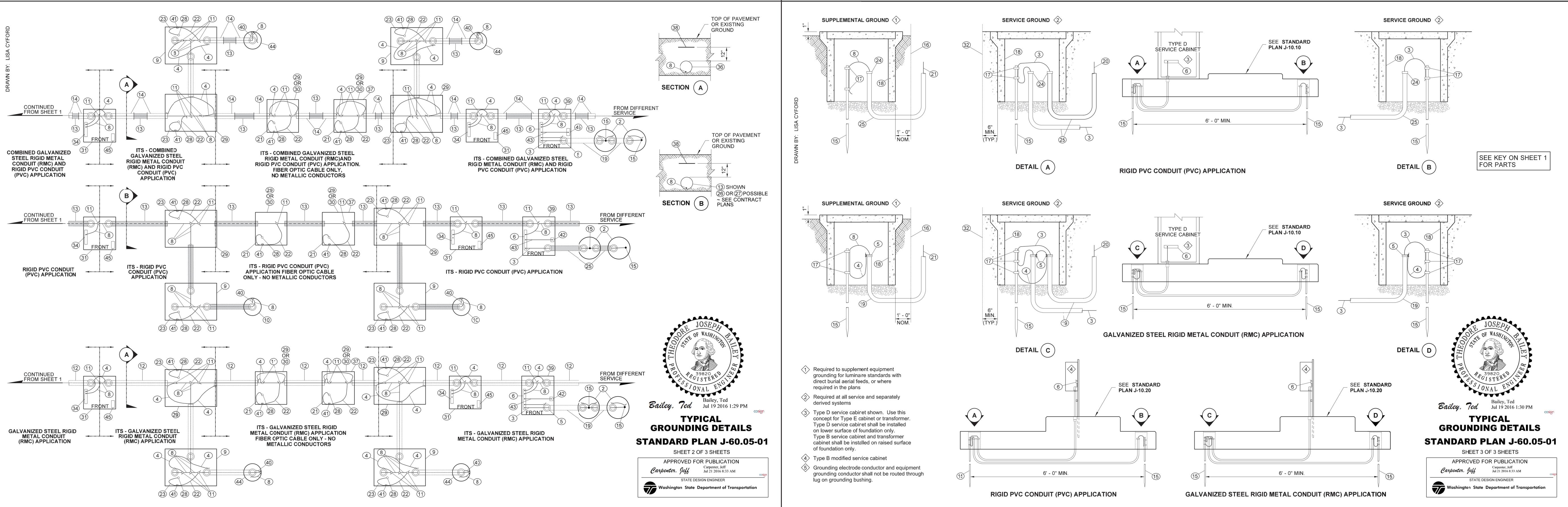
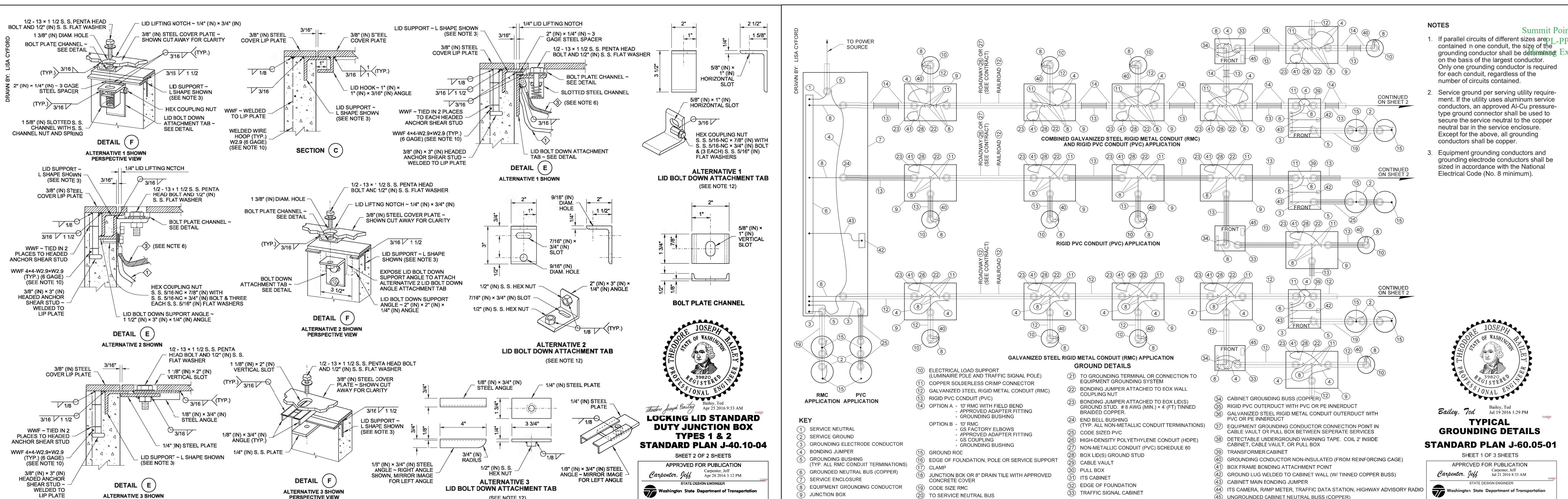
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Drew Babbitt
STATE DESIGN ENGINEER
Washington State Department of Transportation



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CITY OF GIG HARBOR
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SUMMIT POINTE
ILLUMINATION STANDARD DETAILS

IL6
SHEET
6 OF 7 SHEETS



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