VERTICAL DATUM
(WSRN)NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONSCITY OF GIG HARBOR B.M. #64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'

TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

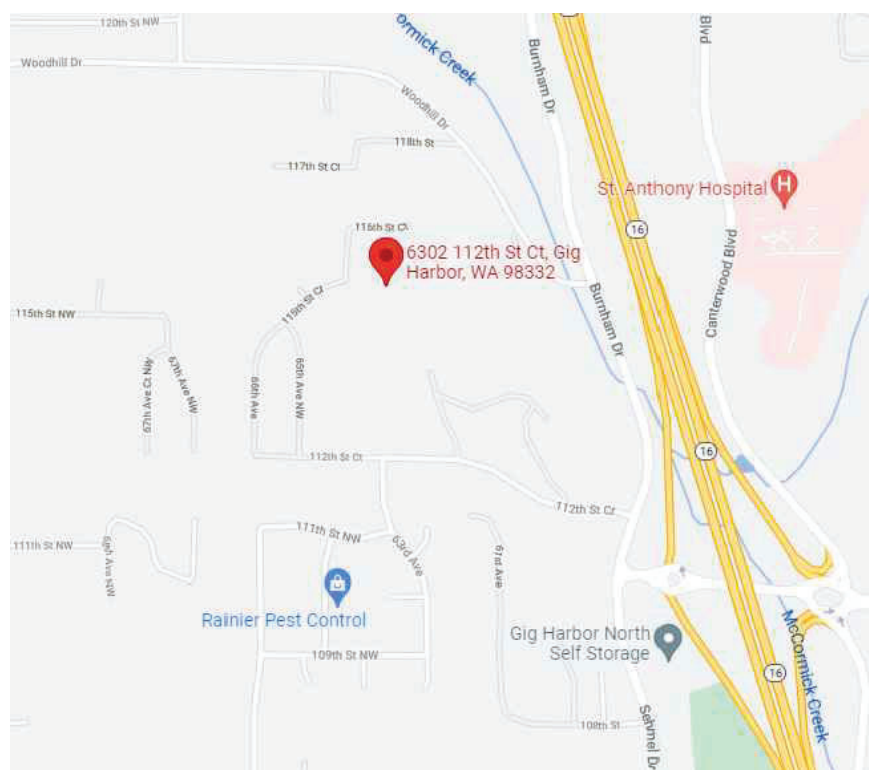
NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

- 2018 CITY OF GIG HARBOR PUBLIC WORKS STANDARDS

- 2016 CITY OF GIG HARBOR STORMWATER MANAGEMENT & DEVELOPMENT MANUAL

ENLARGED VICINITY MAP

SCALE: N.T.S.



SHEET INDEX

SHEET 01-CVR	COVER SHEET
SHEET 02-EX	EXISTING CONDITIONS
SHEET 03-SP 1	SITE PLAN & TENTATIVE PLAT 1
SHEET 04-SP 2	SITE PLAN & TENTATIVE PLAT 2
SHEET 05-SP 3	SITE PLAN & TENTATIVE PLAT 3
SHEET 06-SP 4	SITE PLAN & TENTATIVE PLAT 4
SHEET 07-SP 5	SITE PLAN & TENTATIVE PLAT 5
SHEET 08-SP 6	NOTES & DETAILS
SHEET 09-SIGHT 1	112TH ST S INTERNAL ROAD INTERSECTION SIGHT DISTANCE EXHIBIT
SHEET 10-SIGHT 2	112TH ST S WEST DRIVEWAY SIGHT DISTANCE EXHIBIT
SHEET 11-SIGHT 3	112TH ST S EAST DRIVEWAY SIGHT DISTANCE EXHIBIT
SHEET 12-SIGHT 4	TRACT A (PRIVATE ROAD) SIGHT DISTANCE EXHIBIT
SHEET 13-CI 1	CIRCULATION 1
SHEET 14-CI 2	CIRCULATION 2
SHEET 15-CI 3	CIRCULATION 3
SHEET 16-R1	GRADING, DRAINAGE, & EROSION CONTROL 1
SHEET 17-R2	GRADING, DRAINAGE, & EROSION CONTROL 2
SHEET 18-R3	GRADING, DRAINAGE, & EROSION CONTROL 3
SHEET 19-R4	GRADING, DRAINAGE, & EROSION CONTROL 4
SHEET 20-R5	TRACT A (PRIVATE ROAD) PROFILE VIEW STA:0+00 TO 10+00
SHEET 21-R6	TRACT A (PRIVATE ROAD) PROFILE VIEW STA:10+00 TO 15+92.72
SHEET 22-UTIL 1	COMPOSITE UTILITY 1
SHEET 23-UTIL 2	COMPOSITE UTILITY 2
SHEET 24-UTIL 3	COMPOSITE UTILITY 3
SHEET 25-UTIL 4	COMPOSITE UTILITY 4
SHEET 26-OSE	EXISTING OFFSITE SEWER EXTENSION
SHEETS 27-33	ILLUMINATION DESIGN PLAN SET FROM HERMAN TRAFFIC ENGINEERING



ISSUED FOR CONSTRUCTION

CITY ENGINEER

DATE:

SUMMIT POINTE PRELIMINARY PLAT

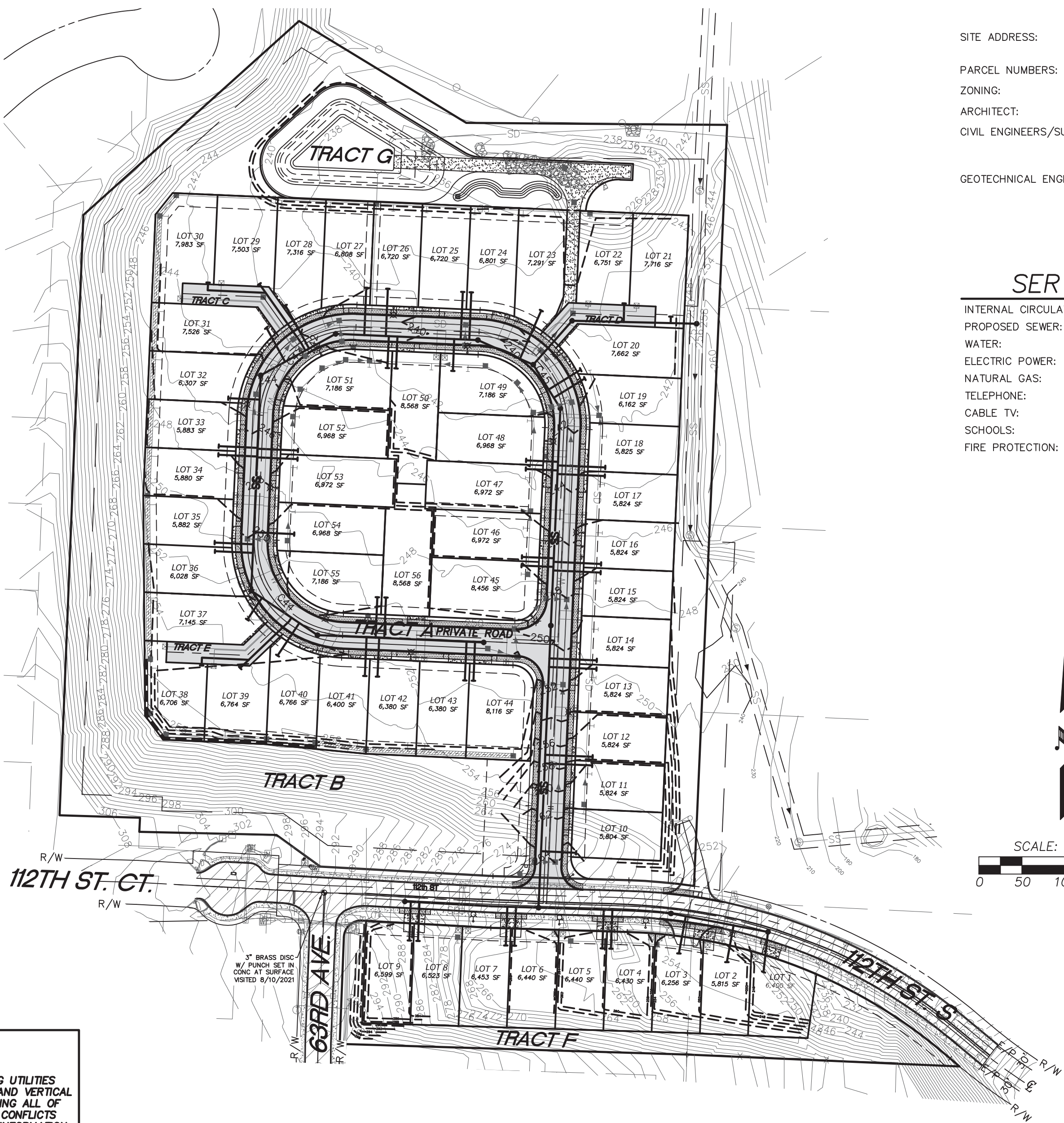
SECTION 25, TOWNSHIP 22 N, RANGE 01 E

CONCEPTUAL PLANS

City PROJECT No. PL-PLATT-21-0002
Firm's PROJECT No. 9700

PROJECT NOTES

2016 EDITION STORMWATER DESIGN MANUAL USED
2018 EDITION PUBLIC WORKS STANDARDS USED
SITE EARTHWORK CUT & FILL VOLUMES:
~CUT = 25,881 CY
~FILL = 27,430 CY



SITE DATA

OWNER/APPLICANT: RUSH RESIDENTIAL, INC.
6622 WOLLOCHET DR, GIG HARBOR, WA 98335
(253) 858-3636

SITE ADDRESS: 6302 112TH ST CT, GIG HARBOR, WA 98332
11302 BURNHAM DR, GIG HARBOR, WA 98332

PARCEL NUMBERS: 0122253072, 0122253074, 0122254092

ZONING: MEDIUM-DENSITY RESIDENTIAL (R-2)

ARCHITECT: RUSH RESIDENTIAL, INC.

CIVIL ENGINEERS/SURVEYORS: LARSON & ASSOCIATES, INC.
9027 PACIFIC AVE #4, TACOMA, WA 98444
(253) 474-3404

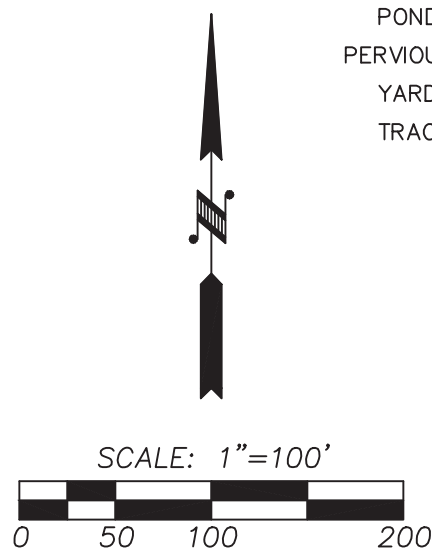
GEOTECHNICAL ENGINEERS: GEORESOURCES
4809 PACIFIC HIGHWAY EAST, FIFE, WA 98424
(253) 896-1011

SERVICES/UTILITIES

INTERNAL CIRCULATION: PRIVATE ROADS
PROPOSED SEWER: CITY OF GIG HARBOR
WATER: WASHINGTON WATER
ELECTRIC POWER: PUGET SOUND ENERGY
NATURAL GAS: PUGET SOUND ENERGY
TELEPHONE: COMCAST/CENTURY LINK
CABLE TV: COMCAST/CENTURY LINK
SCHOOLS: PENINSULA SCHOOL DISTRICT 401
FIRE PROTECTION: GIG HARBOR FIRE AND MEDIC ONE

TOTAL ON-SITE
AREA BREAKDOWN

TOTAL AREA = 16.72 ACRES
IMPERVIOUS AREA = 6.74 ACRES
ROAD/C&G/SIDEWALK = 1.85 ACRES
ROOFS = 3.86 ACRES (56 LOTS @ 3,000 SF/EA)
DRIVES = 0.90 ACRES (56 LOTS @ 700 SF/EA)
POND ACCESS ROAD = 0.13 ACRES
PERVIOUS AREA = 9.98 ACRES
YARDS = 4.70 ACRES
TRACT B = 5.28 ACRES



PRELIMINARY

LARSON and ASSOCIATES

surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY
1	8/9/2022	REV. PER CITY COMMENTS 8/2/2022	GJM
2	10/26/2022	REV. PER CITY COMMENTS 9/15/2022	GJM
3	3/10/2023	REV. PER CITY COMMENTS 1/23/2023	GJM
4	5/19/2023	REV. PER CITY COMMENTS 5/16/2023	GJM

CALL BEFORE YOU DIG

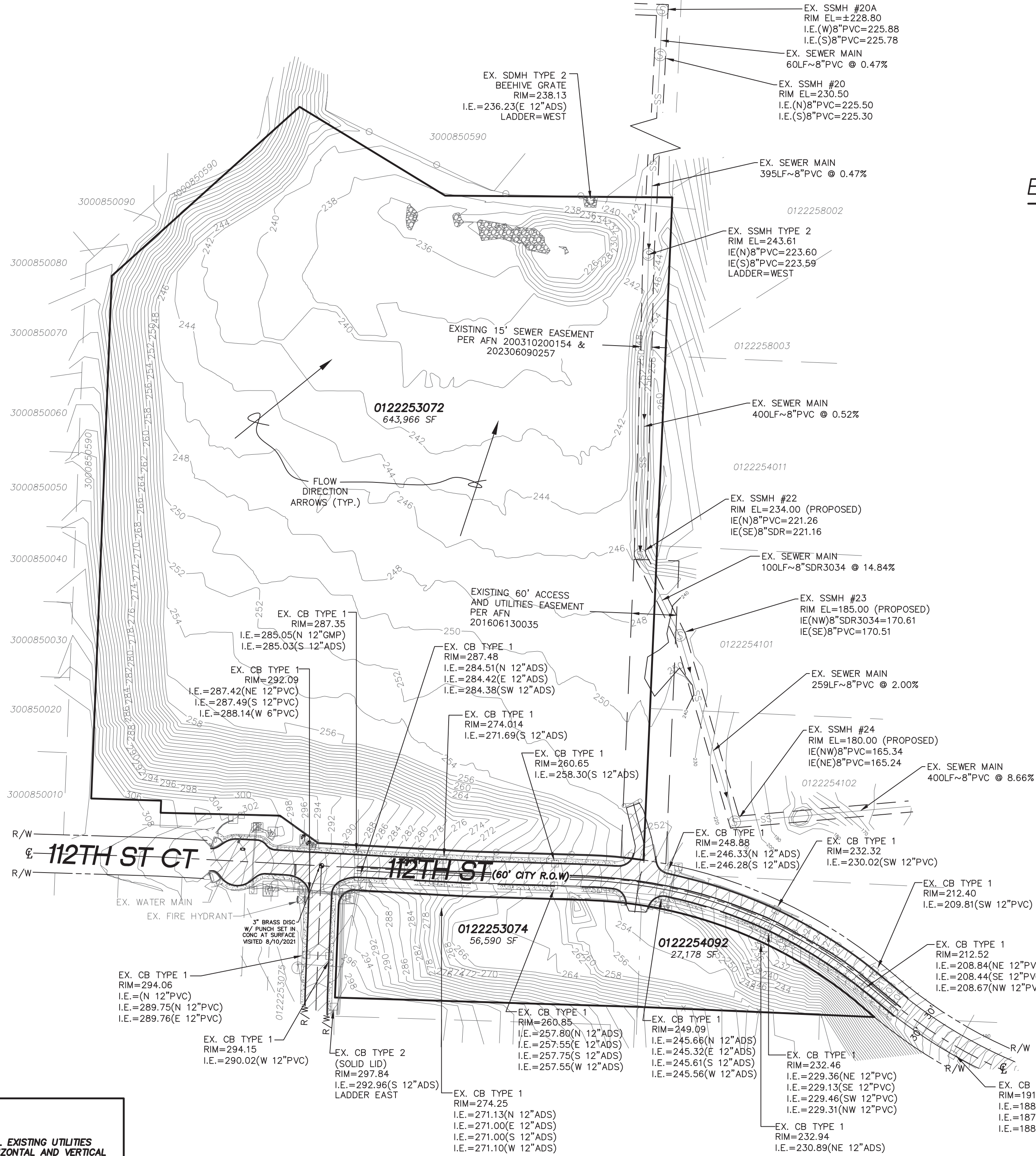
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

UTILITY CONFLICT NOTE:

CAUTION:

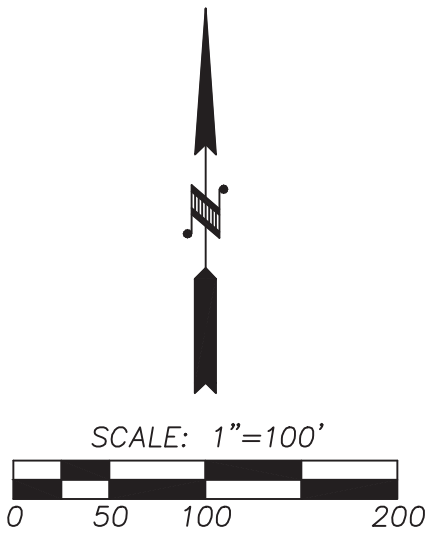
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
EXISTING CONDITIONS



EX. SEWER EASEMENT NOTE

15'-FT SANITARY SEWER EASEMENT SHOWN PER RECORD
AS-BUILT DRAWINGS PREPARED BY APEX ENGINEERING
AND APPROVED BY THE CITY IN JULY, 2003.



Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- EASEMENT
- RIGHT OF WAY LINE
- EXISTING EDGE OF PAVEMENT
- PROPERTY ADJOINER LINE
- EXISTING INTERNAL PROPERTY LINE
- RIGHT OF WAY CENTERLINE
- ROAD CENTERLINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING WIRE FENCE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN PIPE
- EXISTING TELEPHONE LINE
- EXISTING POWER LINE
- EXISTING GAS PIPE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING POWER TRANSFORMER
- EXISTING JUNCTION BOX
- EXISTING POWER METER
- EXISTING POWER VAULT
- EXISTING CATCH BASIN
- EXISTING WATER METER
- EXISTING IRRIGATION BOX
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING WATER BLOWOFF
- EXISTING HOSE BIB
- EXISTING TELEPHONE VAULT
- EXISTING TELEPHONE RISER
- SOIL STOCKPILE AREA (APPROX.)
- EXISTING BOLLARD
- TEMPORARY BENCH MARK
- EXISTING RIP RAP
- EXISTING CONCRETE SIDEWALK
- EXISTING PAVEMENT

CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

UTILITY CONFLICT NOTE:
CAUTION:
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

REVISIONS	
1.	REV. PER CITY COMMENTS 8/2/2022
2.	REV. PER CITY COMMENTS 9/15/2022
3.	REV. PER CITY COMMENTS 1/23/2023
4.	REV. PER CITY COMMENTS 5/16/2023



LARSON and ASSOCIATES
surveyors, engineers & planners

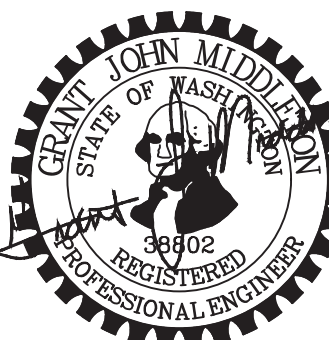
9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

SUMMIT POINTE
CONCEPTUAL
PLAN

EX	PERMIT NO. PL-PLATT-21-0002
EXISTING CONDITIONS	DRAWING NO. 9700
	SHEET OF 2 33

PRELIMINARY

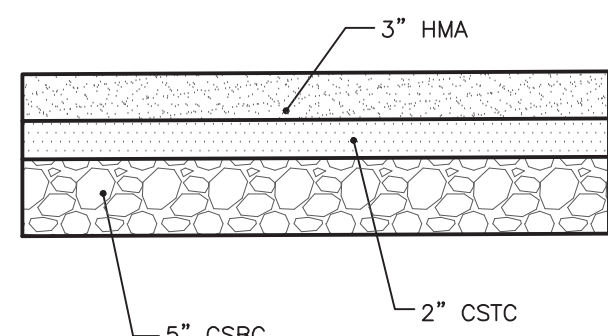


7/27/2023

SITE DATA

GROSS PROJECT AREA:	727,734 SF. (16.71 AC)
NET DEVELOPABLE AREA:	643,173 SF (14.77 AC)
PROPOSED NDA DENSITY:	3.79 DWELLING UNITS PER ACRE
MINIMUM LOT SIZE ALLOWED:	5,800 SF
MINIMUM LOT WIDTH:	0.7% OF LOT AREA, IN LINEAL FT.
MAX HARD SURFACE COVERAGE:	60% OF TOTAL LOT AREA
MINIMUM LOT SIZE PROPOSED:	5,804 SF
AVERAGE LOT SIZE PROPOSED:	
MAXIMUM DENSITY ALLOWED:	6 DWELLING UNITS PER ACRE
MINIMUM DENSITY ALLOWED:	NO MINIMUM
PROPOSED DENSITY:	ODU'S/AC. (0 WHEN ROUNDED)
NO OF LOTS PROPOSED:	56
MINIMUM OFF-STREET PARKING:	2 PER DWELLING UNIT
INTERNAL CIRCULATION:	PRIVATE ROAD
TRACT A:	PRIVATE ROAD/GUEST PARKING & EVA EASEMENT
TRACT B:	LANDSCAPE & OPEN-SPACE
TRACT C:	SHARED ACCESS & UTILITY TRACT
TRACT D:	SHARED ACCESS & UTILITY TRACT
TRACT E:	SHARED ACCESS & UTILITY TRACT
TRACT F:	OPEN-SPACE
TRACT G:	STORM UTILITY TRACT

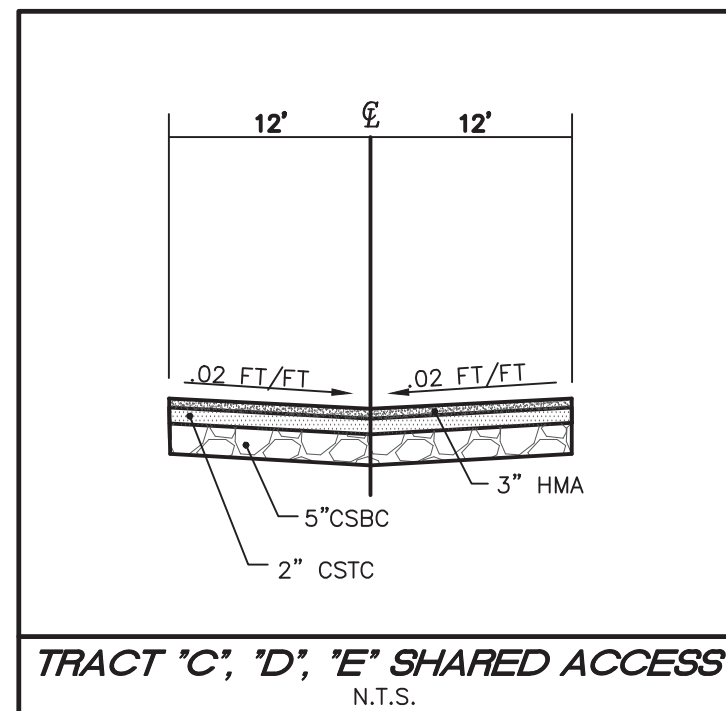
SETBACKS:	
FRONT	20 FT
HOUSE	12 FT
PORCH	26 FT
GARAGE	8 FT
SIDE	30 FT
REAR	



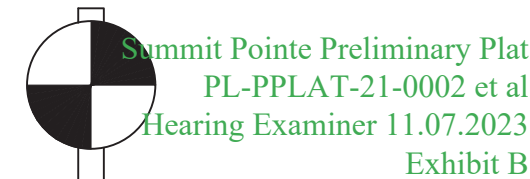
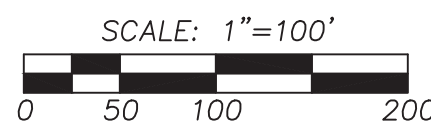
PRIVATE ROAD PAVEMENT SECTION
N.T.S.

SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
"OVERALL" SITE PLAN AND TENTATIVE PLAT



TRACT "C", "D", "E" SHARED ACCESS
N.T.S.



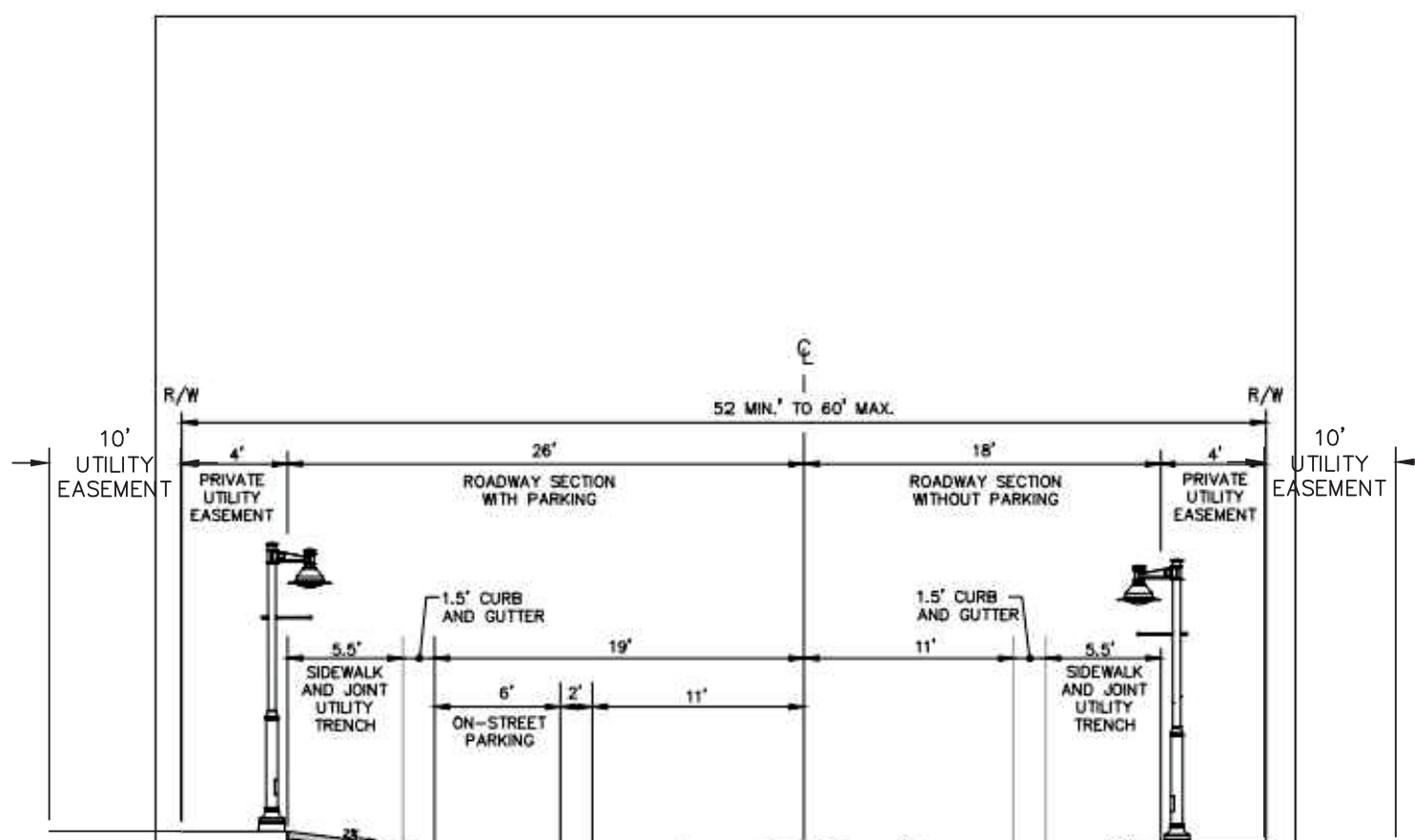
VERTICAL DATUM
(WSRN)
NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

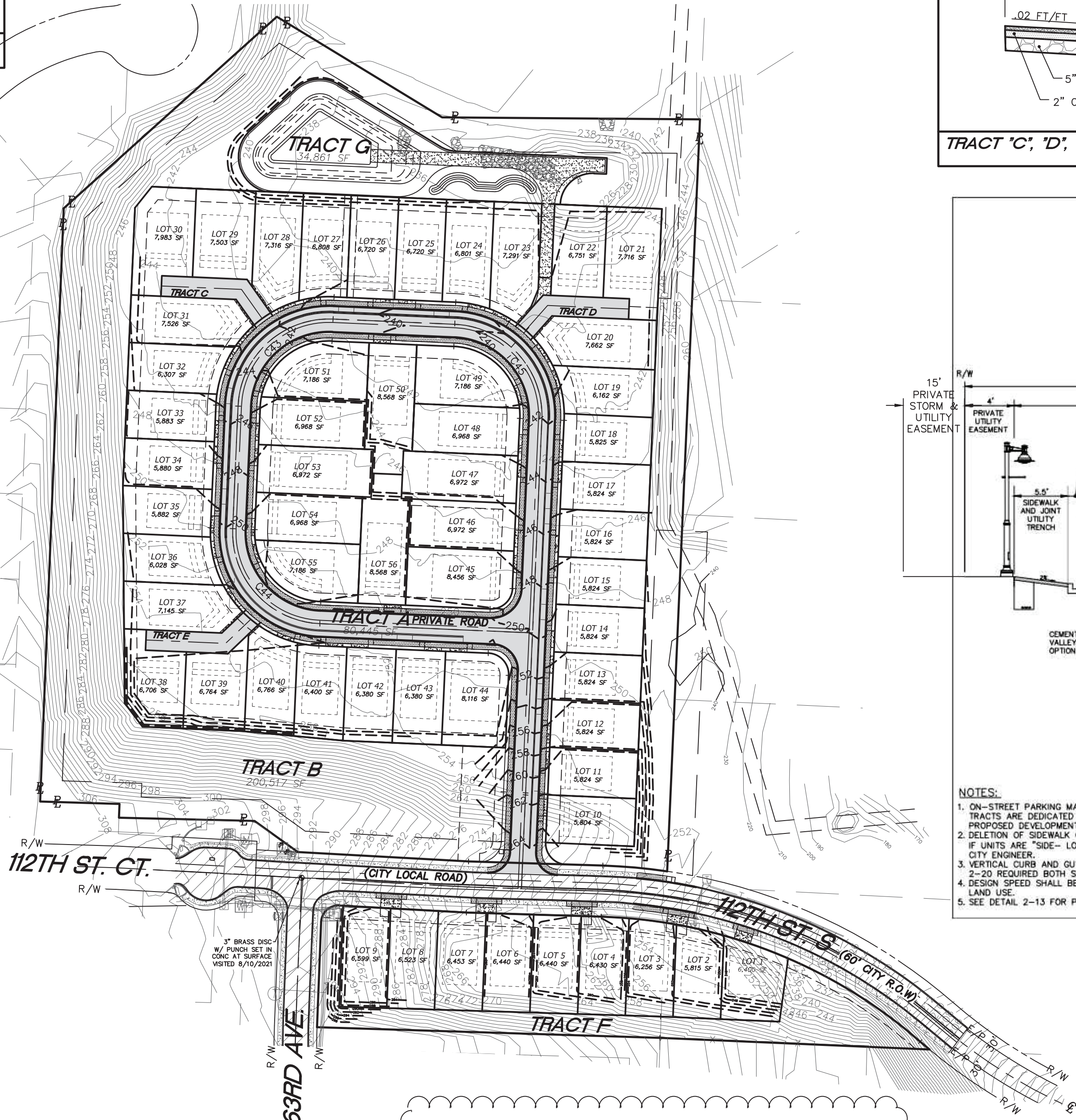
LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED BUILDING SETBACK LINES
	EASEMENT
	RIGHT OF WAY LINE
	PROPOSED EDGE OF PAVEMENT
	PROPERTY ADJOINER LINE
	EXISTING INTERNAL PROPERTY LINE
	RIGHT OF WAY CENTERLINE
	ROAD CENTERLINE
	EXISTING WOOD FENCE
	EXISTING CHAIN LINK FENCE
	EXISTING WIRE FENCE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING TELEPHONE LINE
	EXISTING POWER LINE
	EXISTING GAS PIPE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER TRANSFORMER
	EXISTING JUNCTION BOX
	EXISTING POWER METER
	EXISTING POWER VAULT
	EXISTING CATCH BASIN
	EXISTING WATER METER
	EXISTING IRRIGATION BOX
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER BLOWOFF
	EXISTING HOSE BIB
	EXISTING TELEPHONE VAULT
	EXISTING TELEPHONE RISER
	SOIL STOCKPILE AREA (APPROX.)
	EXISTING BOLLARD
	TEMPORARY BENCH MARK
	EXISTING RIP RAP
	EXISTING CONCRETE SIDEWALK
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED DRIVEWAY APPROACH
	PROPOSED SIDEWALK
	PROPOSED ON-STREET PARKING LINE
	PROPOSED ON-STREET PARKING LINE



NOTES:
1. ON-STREET PARKING MAY BE DELETED IF SEPARATE TRACTS ARE DEDICATED TO PARKING WITHIN THE PROPOSED DEVELOPMENT.
2. DELETION OF SIDEWALK ON ONE SIDE OF STREET ALLOWED IF UNITS ARE "SIDE-LOADED" AND IF PERMITTED BY THE CITY ENGINEER.
3. VERTICAL CURB AND GUTTER COMPLYING WITH DETAIL 2-20 REQUIRED BOTH SIDES OF STREET.
4. DESIGN SPEED SHALL BE CONSISTENT WITH ADJACENT LAND USE.
5. SEE DETAIL 2-13 FOR PAVEMENT DESIGN CONSTANTS.

CITY OF GIG HARBOR ENGINEERING DIVISION	
ROADWAY SECTION PRIVATE	DETAIL NO. 2-08
APPROVED FOR PUBLICATION CITY ENGINEER	DATE JULY, 2018



112TH ST. S ROAD SECTION NOTE

SEE CITY OF GIG HARBOR DETAIL 2-06 ON SHEET SP6 FOR ROAD SECTION DETAIL

UTILITY CONFLICT NOTE:

CAUTION:
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

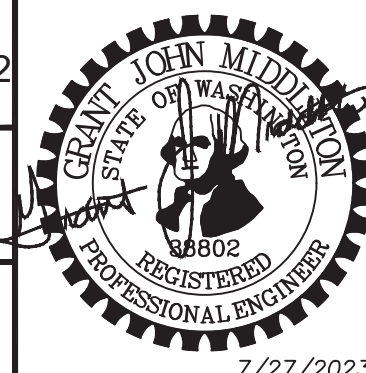
DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

SUMMIT POINTE CONCEPTUAL PLAN

SP 1

SITE PLAN &
TENTATIVE PLAT
1

PERMIT NO. PL-PLATT-21-0002	
DRAWING NO. 9700	
SHEET 3	OF 33



PRELIMINARY

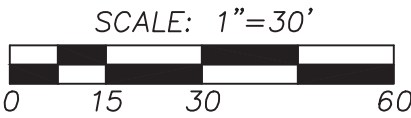
Curve Table			
Curve #	Length	Radius	Delta
C11	115.19	81.00	81°28'41"
C12	115.19	81.00	81°28'41"
C25	59.52	133.00	25°38'33"
C26	24.47	133.00	10°32'26"
C27	24.13	133.00	10°23'46"
C28	46.09	133.00	19°51'22"
C29	41.68	133.00	17°57'18"
C30	40.63	133.00	17°30'10"
C31	38.07	133.00	16°23'54"
C32	24.03	133.00	10°21'11"
C33	39.60	133.00	17°03'31"
C43	168.08	107.00	90°00'00"
C45	168.08	107.00	90°00'00"

Parcel Line Table		
Line #	Length	Direction
L8	36.00	S87°30'13"E
L9	24.00	N2°29'47"E
L10	31.00	N87°30'13"W
L11	70.37	N87°30'13"W
L12	41.98	S35°18'53"E
L13	94.16	S87°30'13"E
L14	38.88	N41°34'26"E
L15	95.66	S87°30'13"E

SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SITE PLAN AND TENTATIVE PLAT

SETBACKS

FRONT	
HOUSE	20 FT
PORCH	12 FT
GARAGE	26 FT
SIDE	8 FT
REAR	30 FT



VERTICAL DATUM
(WSRN)
NAD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED BUILDING SETBACK LINES
- EASEMENT
- RIGHT OF WAY LINE
- PROPOSED EDGE OF PAVEMENT
- PROPERTY ADJOINER LINE
- EXISTING INTERNAL PROPERTY LINE
- RIGHT OF WAY CENTERLINE
- ROAD CENTERLINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING WIRE FENCE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN PIPE
- EXISTING TELEPHONE LINE
- EXISTING POWER LINE
- EXISTING GAS PIPE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING POWER TRANSFORMER
- EXISTING JUNCTION BOX
- EXISTING POWER METER
- EXISTING POWER VAULT
- EXISTING CATCH BASIN
- EXISTING WATER METER
- EXISTING IRRIGATION BOX
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING WATER BLOWOFF
- EXISTING HOSE BIB
- EXISTING TELEPHONE VAULT
- EXISTING TELEPHONE RISER
- SOIL STOCKPILE AREA (APPROX.)
- EXISTING BOLLARD
- TEMPORARY BENCH MARK
- EXISTING RIP RAP
- EXISTING CONCRETE SIDEWALK
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- PROPOSED DRIVEWAY APPROACH
- PROPOSED SIDEWALK
- PROPOSED STORM PIPE
- PROPOSED CATCH BASIN
- PROPOSED RIP RAP PAD
- PROPOSED ON-STREET PARKING LINE

UTILITY CONFLICT NOTE:

CAUTION:

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.



LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

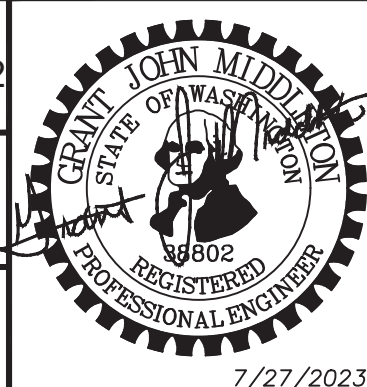
DESIGNED BY: JC
DRAWN BY: PB
CHECKED BY: JC
APPROVED BY: —
SCALE: AS SHOWN
OTHER: —

**SUMMIT POINTE
CONCEPTUAL
PLAN**

SP2

SITE PLAN &
TENTATIVE PLAT
2

PERMIT NO.
PL-PPLAT-21-0002
DRAWING NO.
9700
SHEET 4 OF 33



PRELIMINARY

7/27/2023

Curve Table			
Curve #	Length	Radius	Delta
C9	39.27	25.00	90°00'00"
C10	12.05	81.00	8°31'19"
C11	115.19	81.00	81°28'41"
C12	115.19	81.00	81°28'41"
C13	12.05	81.00	8°31'19"
C14	12.04	81.00	8°31'11"
C15	115.19	81.00	81°28'49"
C18	51.30	133.00	22°06'07"
C19	22.77	133.00	9°48'27"
C20	39.48	133.00	17°00'23"

Curve Table			
Curve #	Length	Radius	Delta
C22	59.20	133.00	25°30'18"
C23	11.01	133.00	4°44'42"
C24	13.02	133.00	5°36'36"
C25	59.52	133.00	25°38'33"
C33	39.60	133.00	17°03'31"
C34	58.74	133.00	25°18'22"
C35	7.85	133.00	3°22'51"
C43	168.08	107.00	90°00'00"
C44	168.08	107.00	90°00'00"
C45	168.08	107.00	90°00'00"

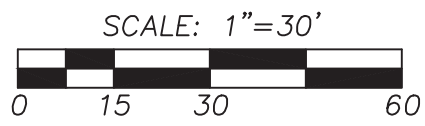
Parcel Line Table		
Line #	Length	Direction
L17	40.97	S46°17'24"W

SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SITE PLAN AND TENTATIVE PLAT

SETBACKS

FRONT	
HOUSE	20 FT
PORCH	12 FT
GARAGE	26 FT
SIDE	8 FT
REAR	30 FT



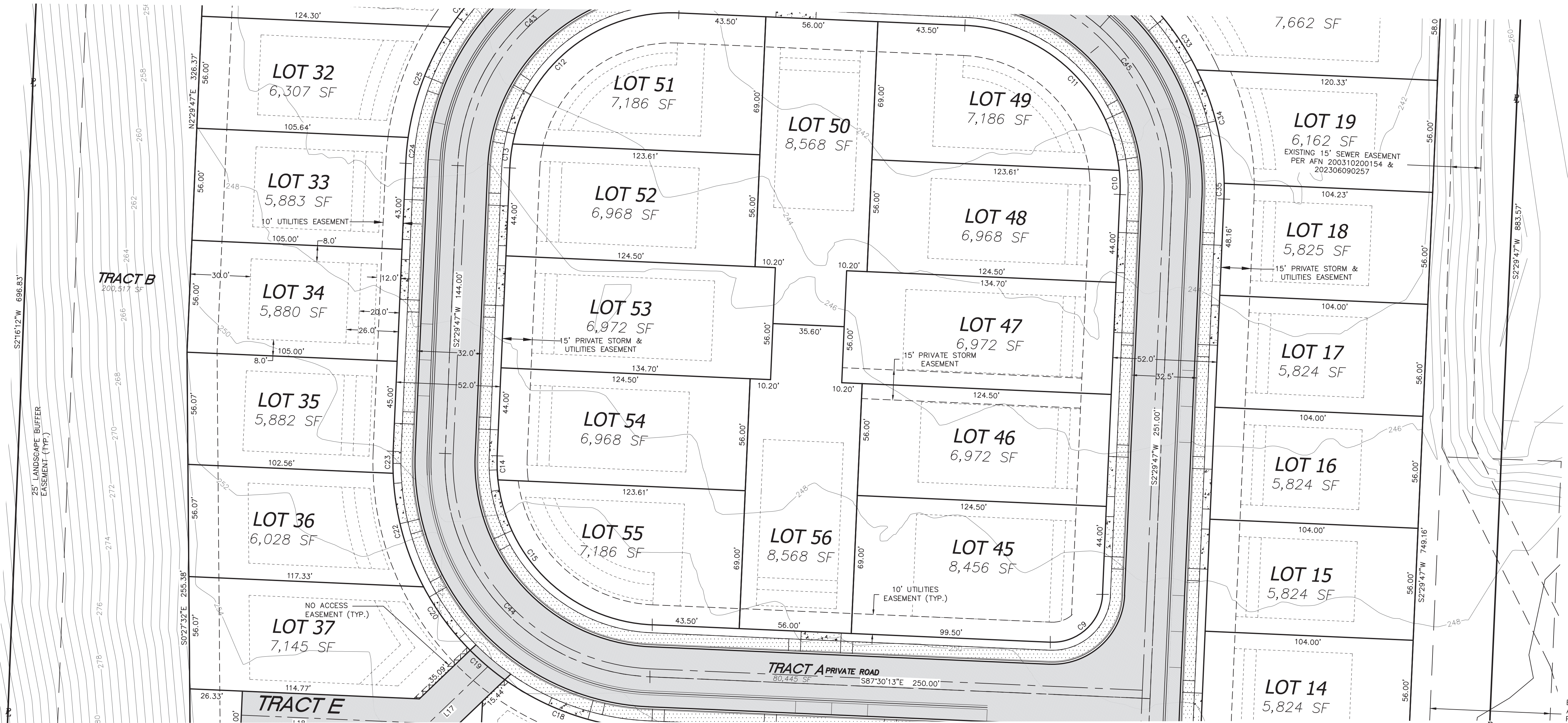
Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B
VERTICAL DATUM
(WSRN)
NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED BUILDING SETBACK LINES
	EASEMENT
	RIGHT OF WAY LINE
	PROPOSED EDGE OF PAVEMENT
	PROPERTY ADJOINER LINE
	EXISTING INTERNAL PROPERTY LINE
	RIGHT OF WAY CENTERLINE
	ROAD CENTERLINE
	EXISTING WOOD FENCE
	EXISTING CHAIN LINK FENCE
	EXISTING WIRE FENCE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING TELEPHONE LINE
	EXISTING POWER LINE
	EXISTING GAS PIPE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER TRANSFORMER
	EXISTING JUNCTION BOX
	EXISTING POWER METER
	EXISTING POWER VAULT
	EXISTING CATCH BASIN
	EXISTING WATER METER
	EXISTING IRRIGATION BOX
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER BLOWOFF
	EXISTING HOSE BIB
	EXISTING TELEPHONE VAULT
	EXISTING TELEPHONE RISER
	SOIL STOCKPILE AREA (APPROX.)
	EXISTING BOLLARD
	TEMPORARY BENCH MARK
	EXISTING RIP RAP
	EXISTING CONCRETE SIDEWALK
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED DRIVEWAY APPROACH
	PROPOSED SIDEWALK
	PROPOSED ON-STREET PARKING LINE



UTILITY CONFLICT NOTE:

CAUTION:

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS	
1.	REV. PER CITY COMMENTS 8/2/2022
2.	REV. PER CITY COMMENTS 9/15/2022
3.	REV. PER CITY COMMENTS 1/23/2023
4.	REV. PER CITY COMMENTS 5/16/2023

LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

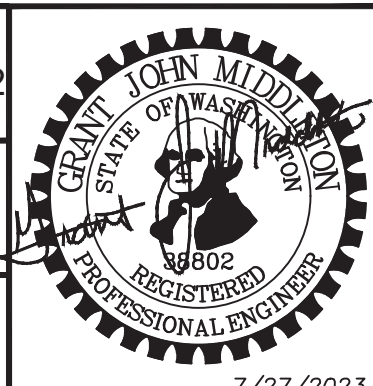
DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

SUMMIT POINTE CONCEPTUAL PLAN

SP3

SITE PLAN &
TENTATIVE PLAT
3

PERMIT NO.	PL-PPLAT-21-0002
DRAWING NO.	9700
SHEET	OF
5	33



PRELIMINARY

7/27/2023

Curve Table			
Curve #	Length	Radius	Delta
C1	75.77	658.00	6°35'51"
C9	39.27	25.00	90°00'00"
C16	39.27	25.00	90°00'00"
C17	25.15	133.00	10°50'04"
C18	51.30	133.00	22°06'07"
C19	22.77	133.00	9°48'27"
C40	38.95	25.00	89°15'35"
C42	39.27	25.00	90°00'02"

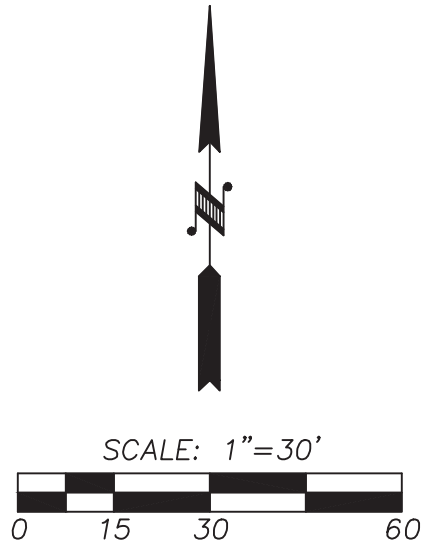
Parcel Line Table		
Line #	Length	Direction
L1	62.71	N54°17'00"W
L2	16.26	N2°26'06"E
L17	40.97	S46°17'24"W
L18	93.57	N87°30'13"W

SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SITE PLAN AND TENTATIVE PLAT

SETBACKS

FRONT	
HOUSE	20 FT
PORCH	12 FT
GARAGE	26 FT
SIDE	8 FT
REAR	30 FT



Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

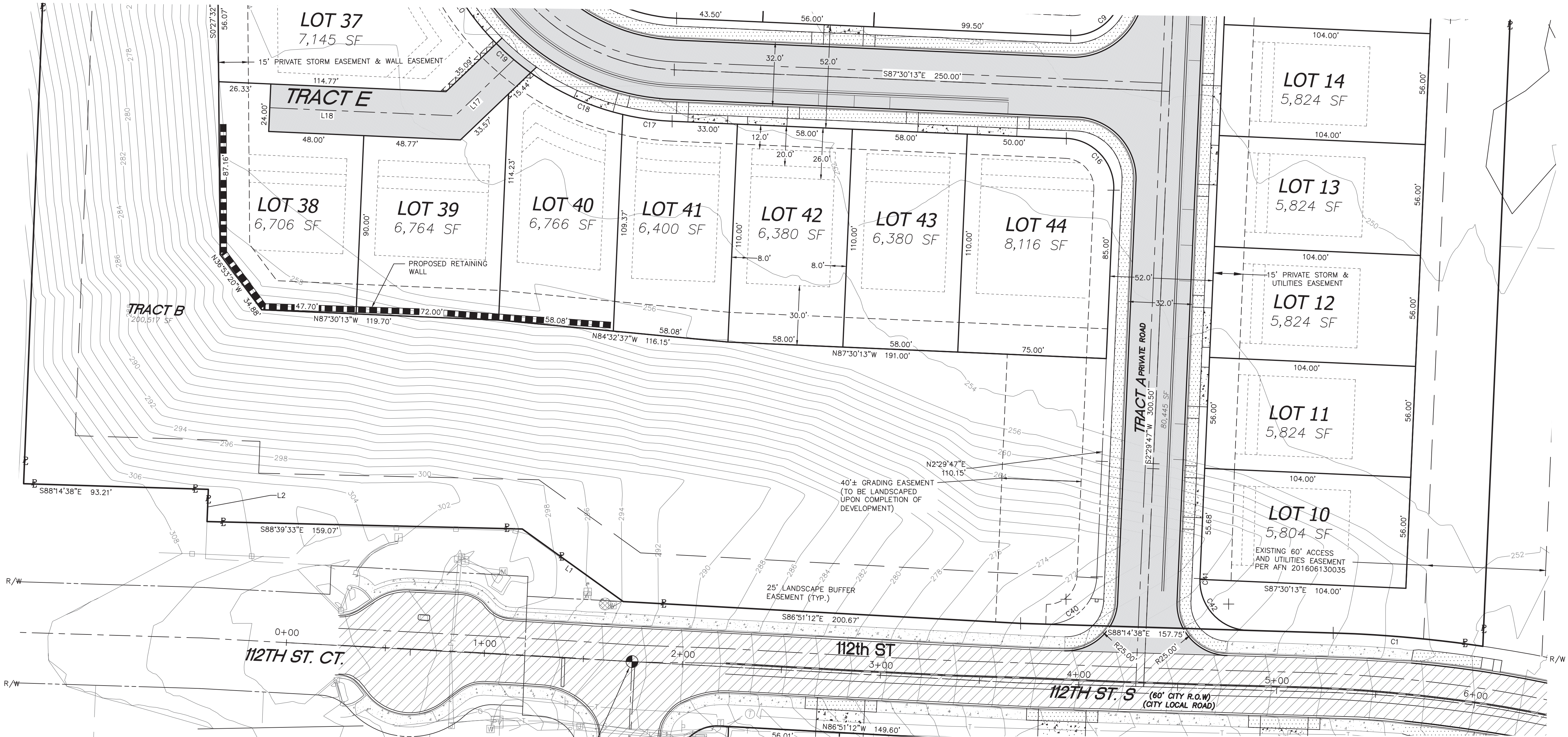
CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED BUILDING SETBACK LINES
	EASEMENT
	RIGHT OF WAY LINE
	PROPOSED EDGE OF PAVEMENT
	PROPERTY ADJOINER LINE
	EXISTING INTERNAL PROPERTY LINE
	RIGHT OF WAY CENTERLINE
	ROAD CENTERLINE
	EXISTING WOOD FENCE
	EXISTING CHAIN LINK FENCE
	EXISTING WIRE FENCE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING TELEPHONE LINE
	EXISTING POWER LINE
	EXISTING GAS PIPE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER TRANSFORMER
	EXISTING JUNCTION BOX
	EXISTING POWER METER
	EXISTING POWER VAULT
	EXISTING CATCH BASIN
	EXISTING WATER METER
	EXISTING IRRIGATION BOX
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER BLOWOFF
	EXISTING HOSE BIB
	EXISTING TELEPHONE VAULT
	EXISTING TELEPHONE RISER
	SOIL STOCKPILE AREA (APPROX.)
	EXISTING BOLLARD
	TEMPORARY BENCH MARK
	EXISTING RIP RAP
	EXISTING CONCRETE SIDEWALK
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED SIDEWALK
	PROPOSED ON-STREET PARKING LINE
	PROPOSED RETAINING WALL



UTILITY CONFLICT NOTE:
CAUTION:
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS	
1.	REV. PER CITY COMMENTS 8/2/2022
2.	REV. PER CITY COMMENTS 9/15/2022
3.	REV. PER CITY COMMENTS 1/23/2023
4.	REV. PER CITY COMMENTS 5/16/2023

LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

SUMMIT POINTE CONCEPTUAL PLAN

SP4
SITE PLAN & TENTATIVE PLAT
4

PERMIT NO. PL-PPLAT-21-0002	
DRAWING NO. 9700	
SHEET OF 6 33	

PRELIMINARY

7/27/2023

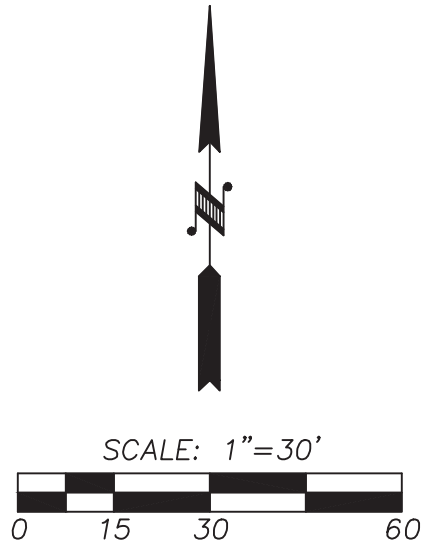
SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SITE PLAN AND TENTATIVE PLAT

Curve Table			
Curve #	Length	Radius	Delta
C1	75.77	658.00	6°35'51"
C2	410.02	598.00	39°17'06"
C3	14.25	658.00	1°14'27"
C4	31.72	20.00	90°52'36"
C36	32.65	598.00	3°07'42"
C37	56.26	598.00	5°23'26"
C38	57.02	598.00	5°27'47"
C39	80.03	598.00	7°40'04"

Parcel Line Table		
L3	14.38	S87°30'36"E

SETBACKS

FRONT	
HOUSE	20 FT
PORCH	12 FT
GARAGE	26 FT
SIDE	8 FT
REAR	30 FT



Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

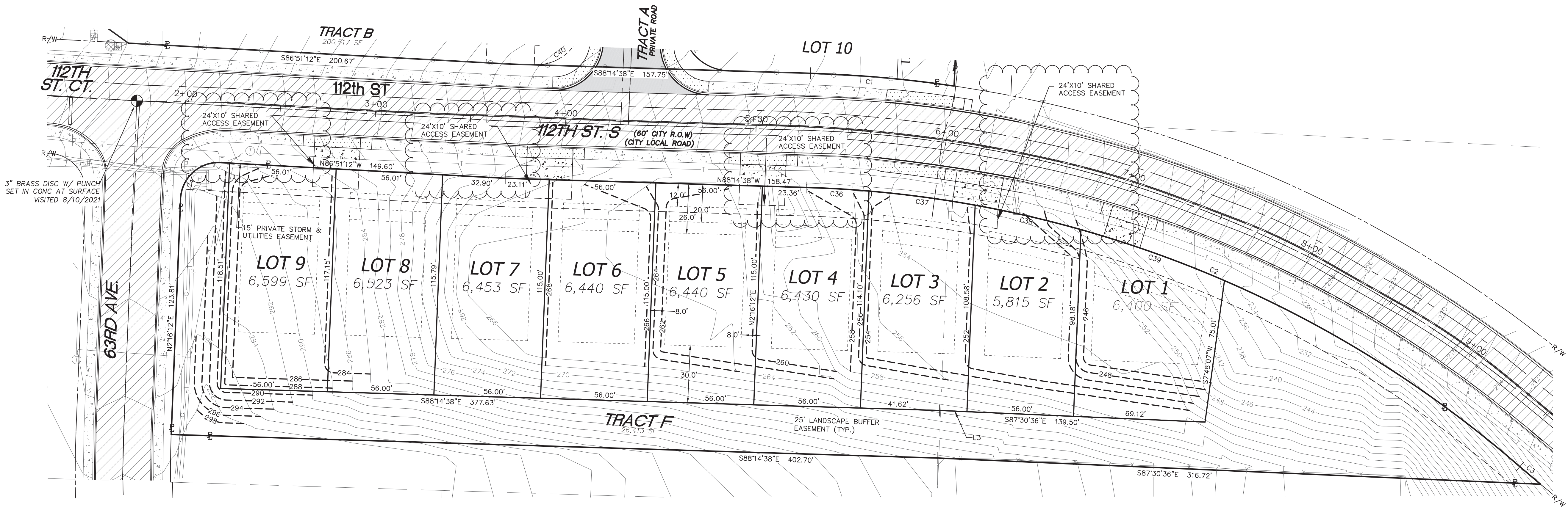
CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED BUILDING SETBACK LINES
	EASEMENT
	RIGHT OF WAY LINE
	PROPOSED EDGE OF PAVEMENT
	PROPERTY ADJOINER LINE
	EXISTING INTERNAL PROPERTY LINE
	RIGHT OF WAY CENTERLINE
	ROAD CENTERLINE
	EXISTING WOOD FENCE
	EXISTING CHAIN LINK FENCE
	EXISTING WIRE FENCE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING TELEPHONE LINE
	EXISTING POWER LINE
	EXISTING GAS PIPE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER TRANSFORMER
	EXISTING JUNCTION BOX
	EXISTING POWER METER
	EXISTING POWER VAULT
	EXISTING CATCH BASIN
	EXISTING WATER METER
	EXISTING IRRIGATION BOX
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER BLOWOFF
	EXISTING HOSE BIB
	EXISTING TELEPHONE VAULT
	EXISTING TELEPHONE RISER
	SOIL STOCKPILE AREA (APPROX.)
	EXISTING BOLLARD
	TEMPORARY BENCH MARK
	EXISTING RIP RAP
	EXISTING CONCRETE SIDEWALK
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED DRIVEWAY APPROACH
	PROPOSED SIDEWALK
	PROPOSED ON-STREET PARKING LINE



UTILITY CONFLICT NOTE:
CAUTION:
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

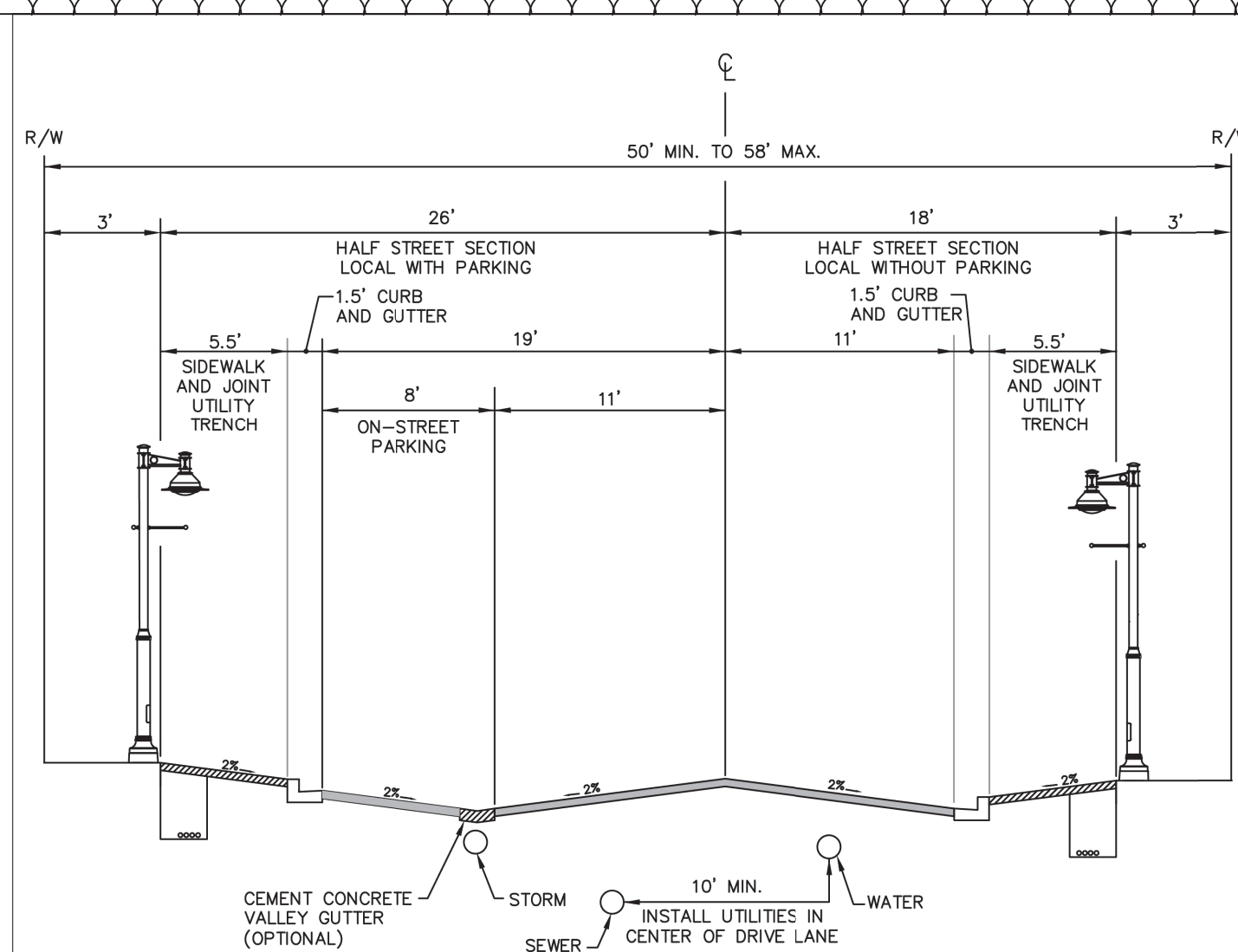
SUMMIT POINTE
CONCEPTUAL
PLAN

SP5 SITE PLAN & TENTATIVE PLAT 5	PERMIT NO. PL-PPLAT-21-0002	
	DRAWING NO. 9700	
	SHEET OF 7 33	

PRELIMINARY

7/27/2023

SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SITE PLAN AND TENTATIVE PLAT



NOTES:

1. ON-STREET PARKING SHALL BE PROVIDED ON ONE SIDE AND MAY BE REQUIRED ON BOTH SIDES AS DETERMINED BY THE CITY ENGINEER.
2. DELETION OF SIDEWALK ON ONE SIDE OF STREET ALLOWED IF UNITS ARE "SIDE- LOADED" AND IF PERMITTED BY THE CITY ENGINEER.
3. IF CONCRETE VALLEY GUTTER IS NOT USED, 8" WHITE THERMO PLASTIC WIDE LINE SHALL BE APPLIED TO DESIGNATE ON STREET PARKING FROM TRAVEL LANE.
4. DESIGN SPEED SHALL BE CONSISTENT WITH ADJACENT LAND USE.
5. SEE DETAIL 2-13 FOR PAVEMENT DESIGN STANDARDS.



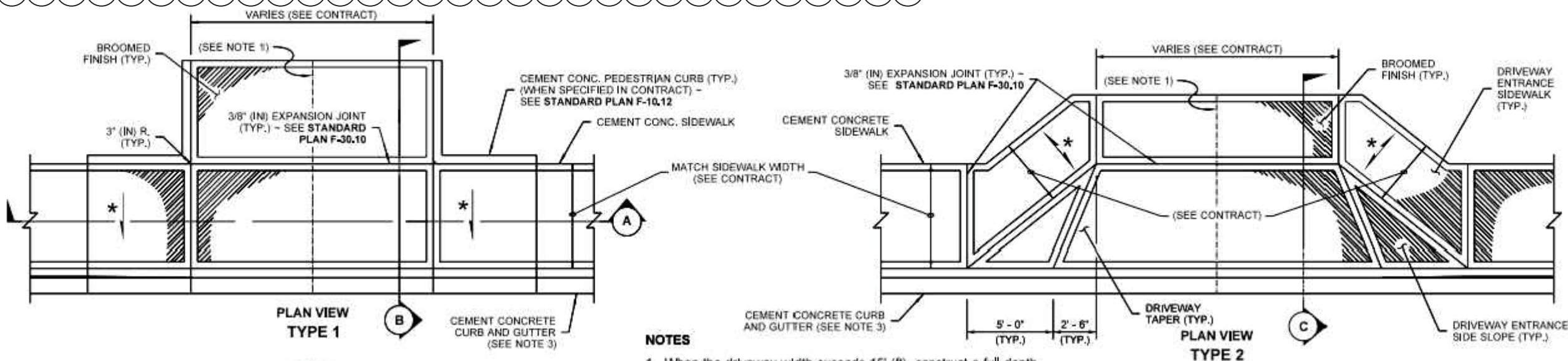
CITY OF GIG HARBOR
ENGINEERING DIVISION

ROADWAY SECTION
LOCAL

DETAIL NO.

2-06

APPROVED FOR PUBLICATION
CITY ENGINEER
DATE JULY, 2018



NOTES

1. When the driveway width exceeds 15' (ft), construct a full depth expansion joint with 3/8\"/>
2. See **Standard Plan F-30.10** for sidewalk details.
3. Curb and Gutter shown; see the Contract Plans for the curb design specified. See **Standard Plan F-10.12** for Curb Details.
4. Avoid placing drainage structures, junction boxes or other obstructions in front of driveway entrances.
5. Where "GRADE BREAK" is called out, the entire length of the line between the two adjacent surface planes shall be flush.
6. The Pedestrian Ramp length is not required to exceed 15 feet (unless otherwise shown in the Contract Plans). When applying the 15-foot max. length (measured from back of sidewalk) the running slope of the pedestrian ramp is allowed to exceed 8.3%. Use a single constant slope from bottom of ramp to top of ramp to match into the sidewalk over a horizontal distance of 15 feet.
7. Beyond limits shown. Pay item does not include driveway. See Contract Plans.

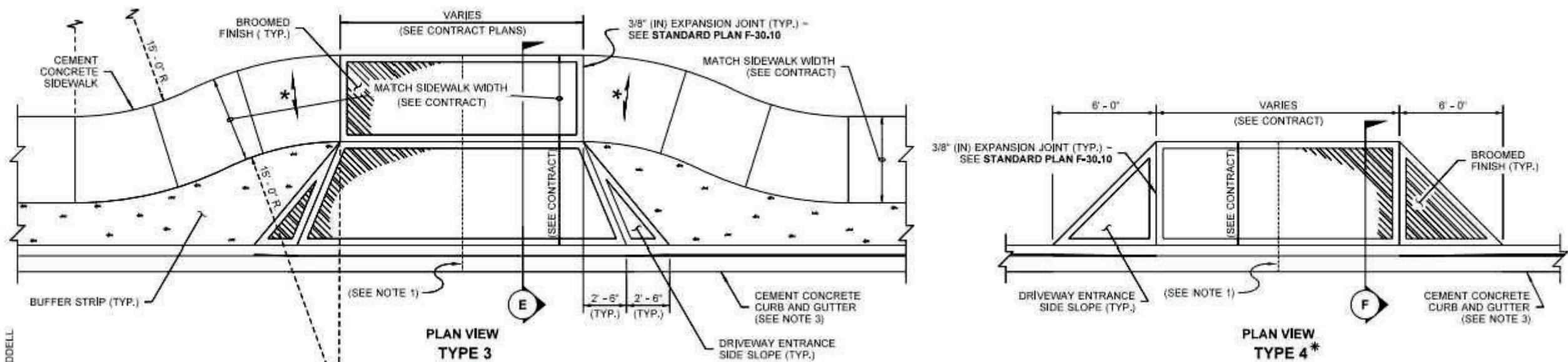
LEGEND

- SLOPE IN EITHER DIRECTION
- 1.5% OR FLATTER RECOMMENDED FOR DESIGN/FORMWORK (2% MAX.)
- 7.5% OR FLATTER RECOMMENDED FOR DESIGN/FORMWORK (8.3% MAX.) (SEE NOTE 6)

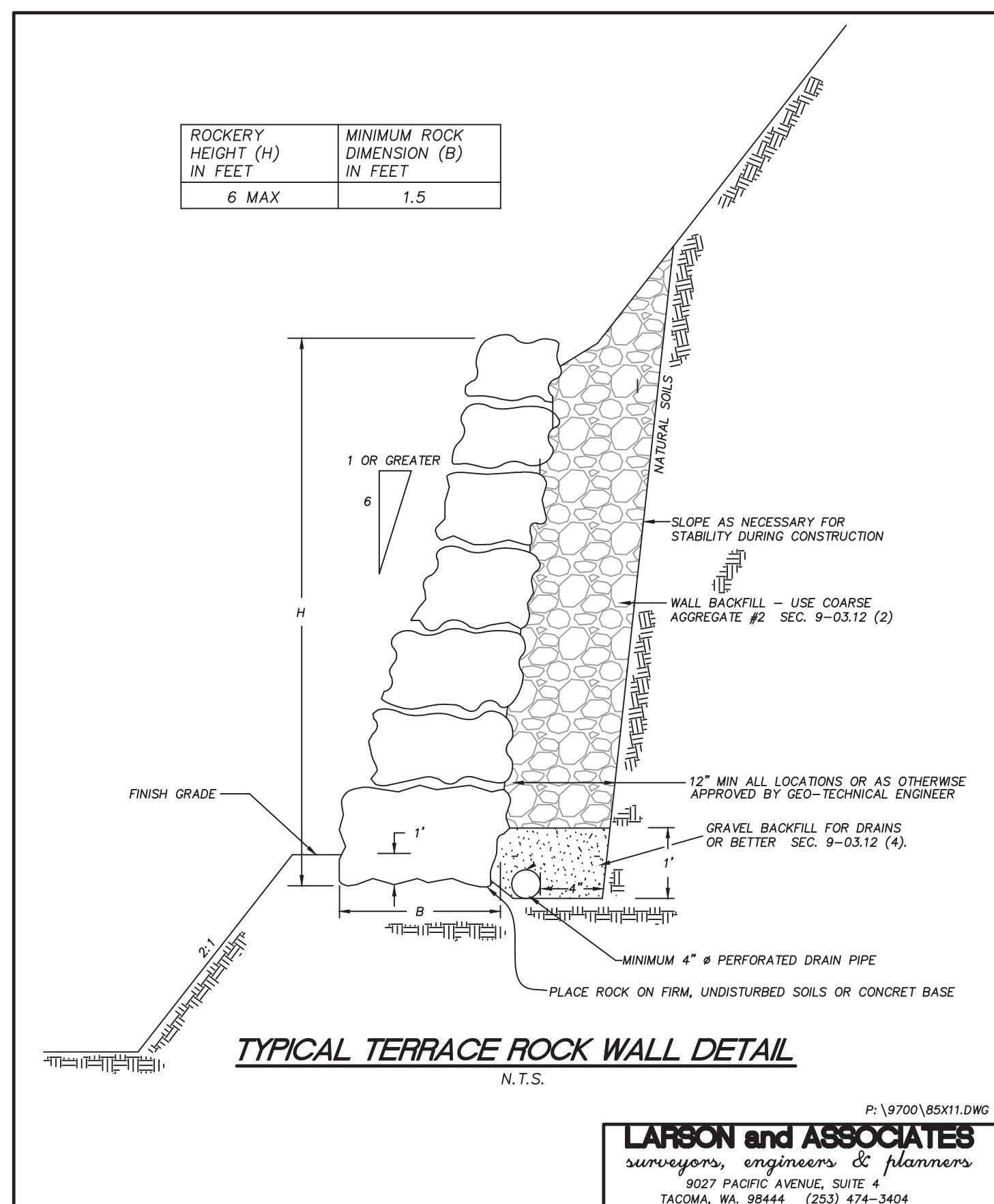
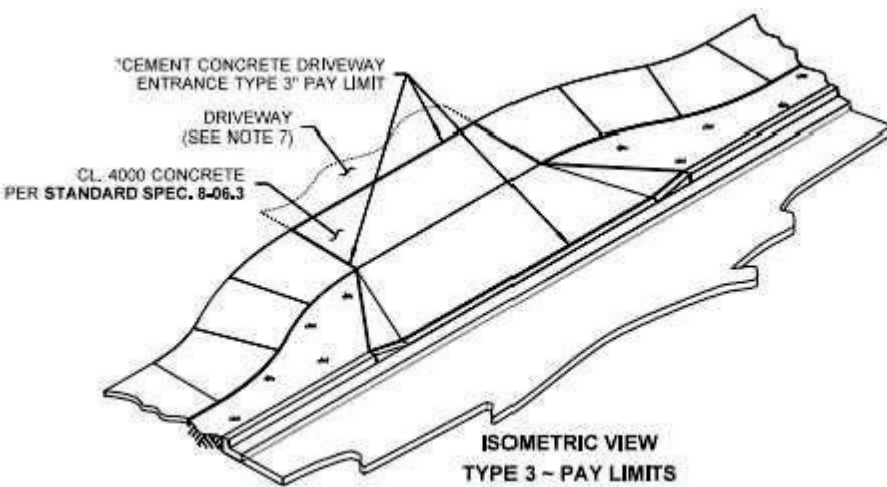
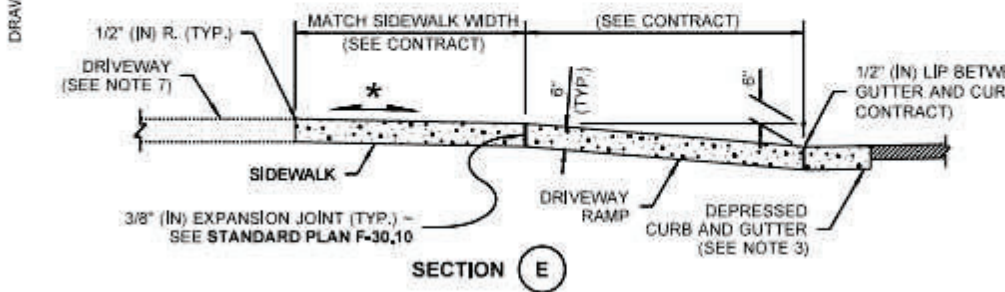


CEMENT CONCRETE DRIVEWAY ENTRANCE TYPES 1, 2, 3, & 4
STANDARD PLAN F-80.10-04
SHEET 1 OF 2 SHEETS

APPROVED FOR PUBLICATION
Carpedes, Jeff
DATE JULY 13, 2018
STATE DESIGN ENGINEER
Washington State Department of Transportation



DRAWN BY: TEIN LIDELL



TYPICAL TERRACE ROCK WALL DETAIL
N.T.S.

LARSON and ASSOCIATES
surveyors, engineers & planners
9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

PRELIMINARY

LARSON and ASSOCIATES
surveyors, engineers & planners

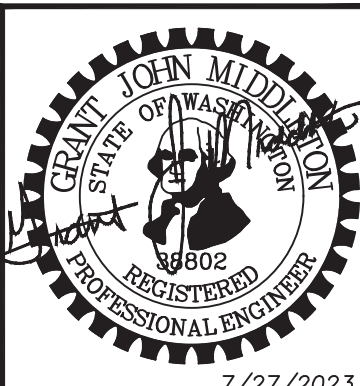
9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

SUMMIT POINTE
CONCEPTUAL
PLAN

SP6

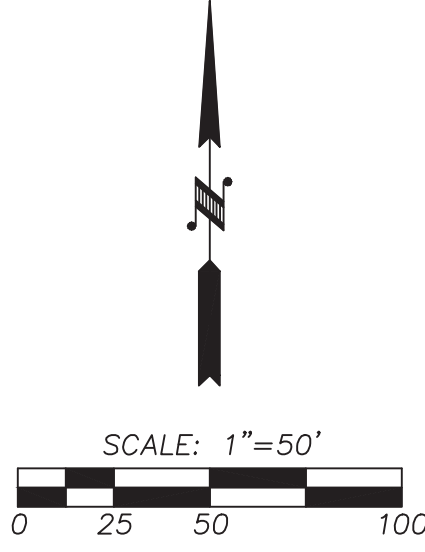
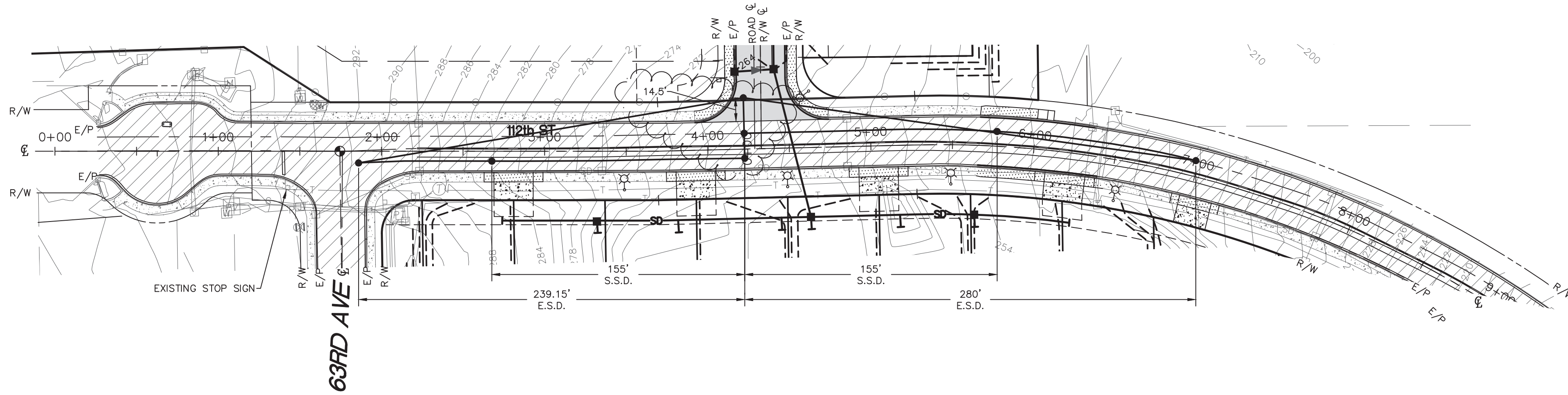
SITE PLAN
NOTES & DETAILS
6

PERMIT NO.
PL-PPLAT-21-0002
DRAWING NO.
9700
SHEET OF
8 33



7/27/2023

SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SIGHT DISTANCE EXHIBIT



Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

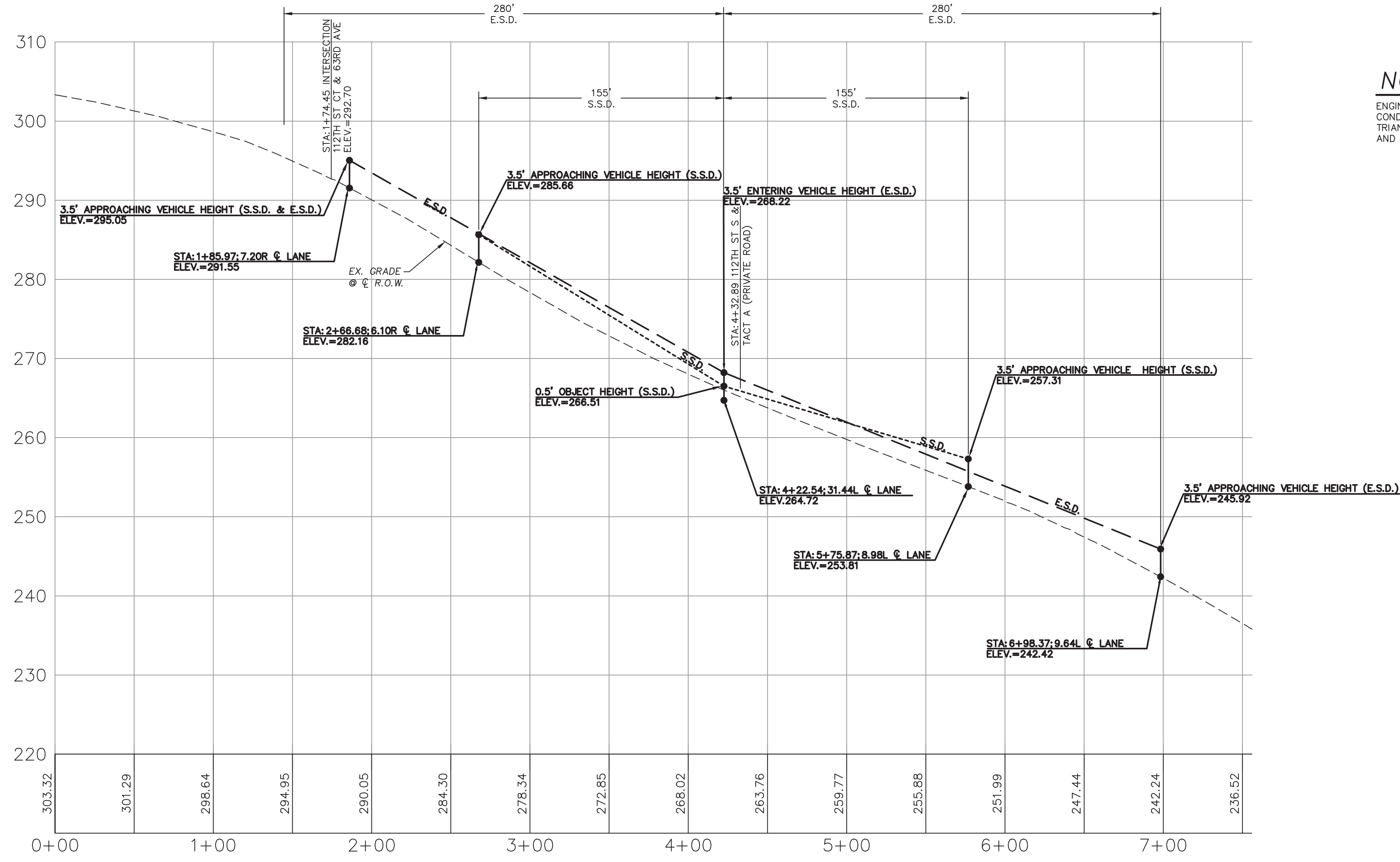
CITY OF GIG HARBOR B.M. #64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND	
	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED BUILDING SETBACK LINES
	EASEMENT
	RIGHT OF WAY LINE
	PROPOSED EDGE OF PAVEMENT
	PROPERTY ADJOINER LINE
	EXISTING INTERNAL PROPERTY LINE
	RIGHT OF WAY CENTERLINE
	ROAD CENTERLINE
	EXISTING WOOD FENCE
	EXISTING CHAIN LINK FENCE
	EXISTING WIRE FENCE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING TELEPHONE LINE
	EXISTING POWER LINE
	EXISTING GAS PIPE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER TRANSFORMER
	EXISTING JUNCTION BOX
	EXISTING POWER METER
	EXISTING POWER VAULT
	EXISTING CATCH BASIN
	EXISTING WATER METER
	EXISTING IRRIGATION BOX
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER BLOWOFF
	EXISTING HOSE BIB
	EXISTING TELEPHONE VAULT
	EXISTING TELEPHONE RISER
	SOIL STOCKPILE AREA (APPROX.)
	EXISTING BOLLARD
	TEMPORARY BENCH MARK
	PROPOSED LUMINAIRE POLE (PROPOSED LOCATION)
	EXISTING RIP RAP
	EXISTING CONCRETE SIDEWALK
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED DRIVEWAY APPROACH
	PROPOSED SIDEWALK

NOTE:
ENGINEER OF RECORD CERTIFIES THAT THE PROPOSED
CONDITIONS WILL HAVE NO OBSTRUCTIONS WITHIN VISION
TRIANGLES ONCE CONSTRUCTED AS REQUIRED BY AASHTO
AND CITY STANDARDS.



PRELIMINARY

REVISIONS	
1.	REV. PER CITY COMMENTS 8/2/2022
2.	REV. PER CITY COMMENTS 9/15/2022
3.	REV. PER CITY COMMENTS 1/23/2023
4.	REV. PER CITY COMMENTS 5/16/2023



LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

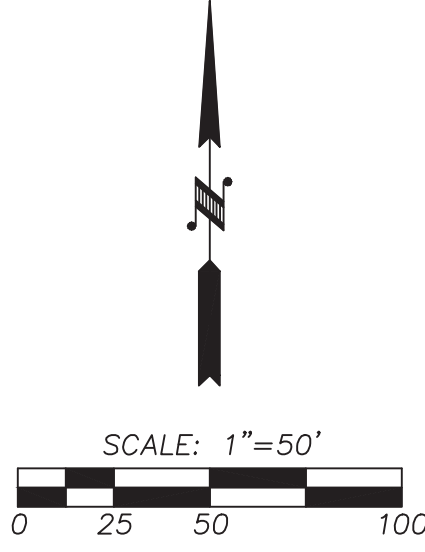
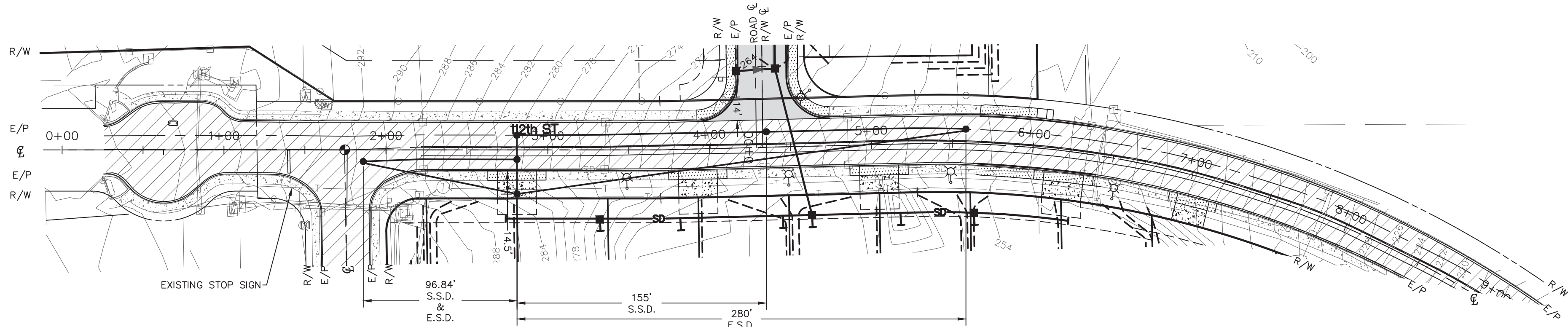
**SUMMIT POINTE
CONCEPTUAL
PLAN**

SIGHT 1	
112TH ST S INTERNAL ROAD INTERSECTION SIGHT DISTANCE EXHIBIT	

PERMIT NO. PL-PPLATT-21-0002	DRAWING NO. 9700
SHEET 9	OF 33



SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SIGHT DISTANCE EXHIBIT



Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

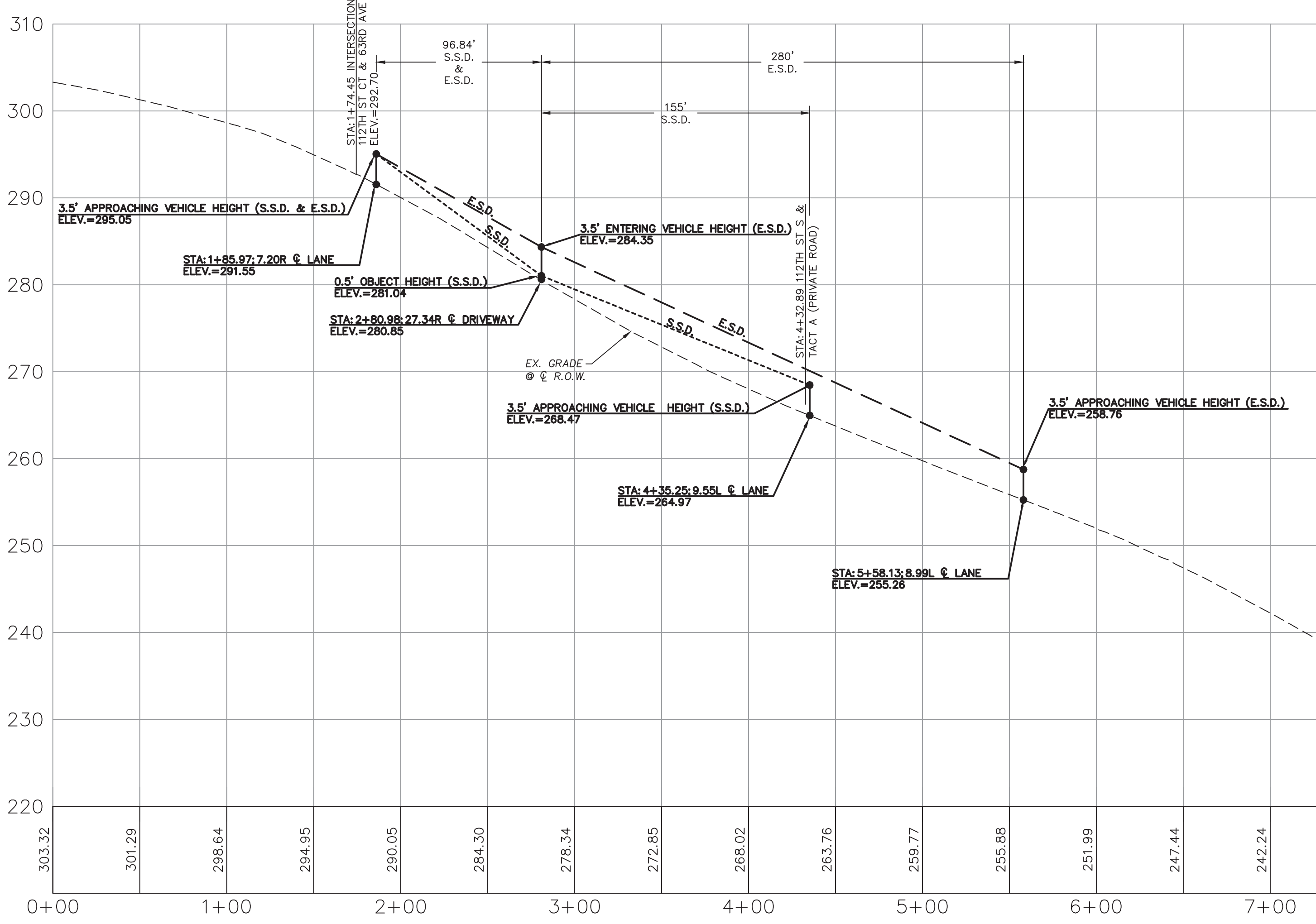
CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

- LEGEND**
- PROPERTY LINE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED BUILDING SETBACK LINES
 - EASEMENT
 - RIGHT OF WAY LINE
 - PROPOSED EDGE OF PAVEMENT
 - PROPERTY ADJOINER LINE
 - EXISTING INTERNAL PROPERTY LINE
 - RIGHT OF WAY CENTERLINE
 - ROAD CENTERLINE
 - EXISTING WOOD FENCE
 - EXISTING CHAIN LINK FENCE
 - EXISTING WIRE FENCE
 - EXISTING SANITARY SEWER LINE
 - EXISTING STORM DRAIN PIPE
 - EXISTING TELEPHONE LINE
 - EXISTING POWER LINE
 - EXISTING GAS PIPE

NOTE:
ENGINEER OF RECORD CERTIFIES THAT THE PROPOSED
CONDITIONS WILL HAVE NO OBSTRUCTIONS WITHIN VISION
TRIANGLES ONCE CONSTRUCTED AS REQUIRED BY AASHTO
AND CITY STANDARDS.



PRELIMINARY

REVISIONS	
1.	REV. PER CITY COMMENTS 8/2/2022
2.	REV. PER CITY COMMENTS 9/15/2022
3.	REV. PER CITY COMMENTS 1/23/2023
4.	REV. PER CITY COMMENTS 5/16/2023




LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

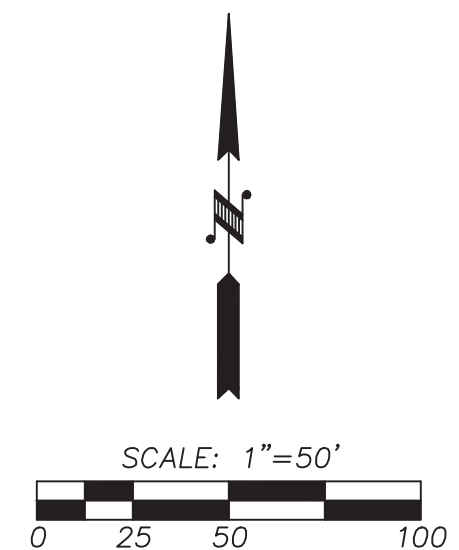
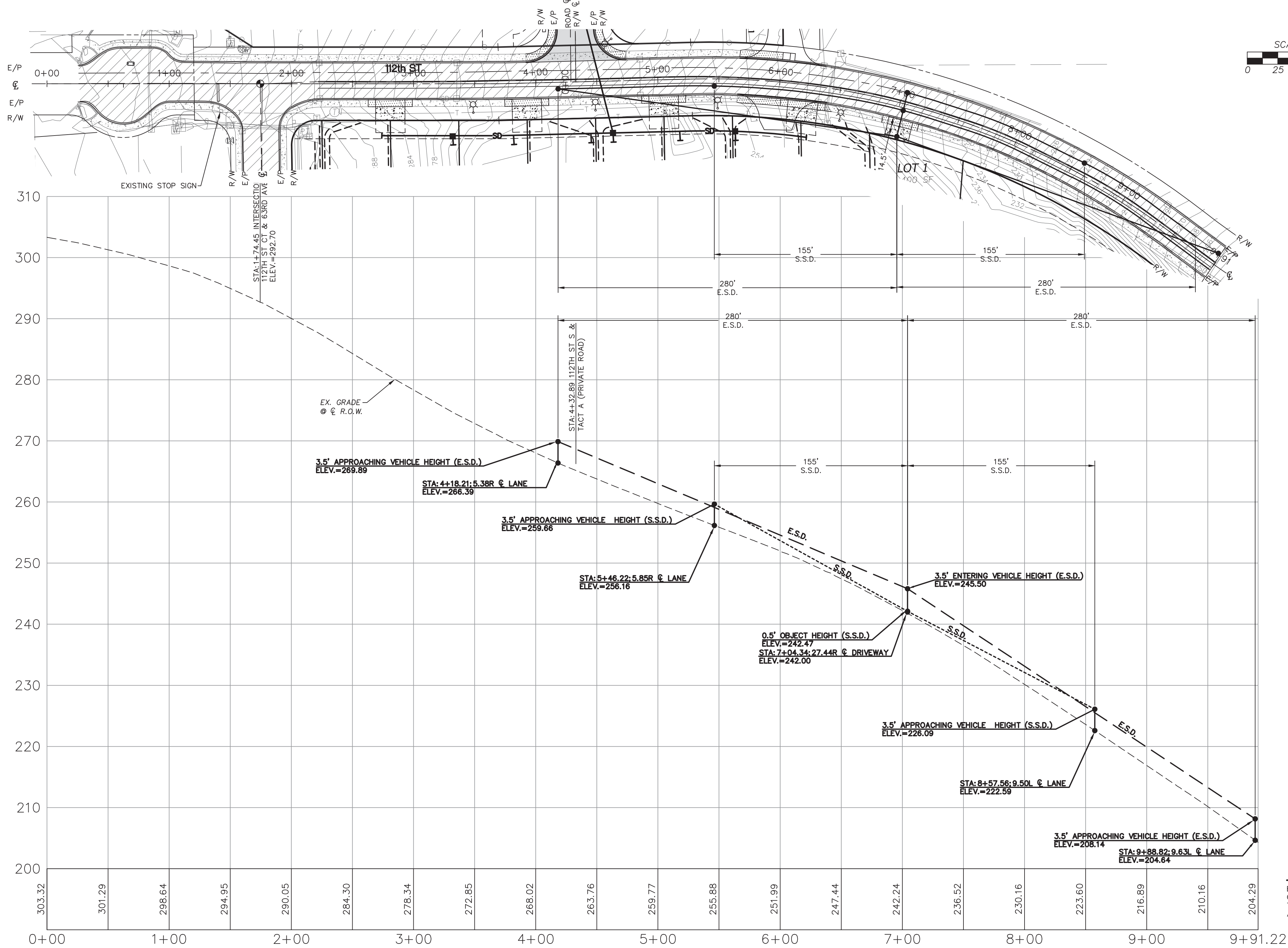
**SUMMIT POINTE
CONCEPTUAL
PLAN**

SIGHT 2	
112TH ST S WEST DRIVEWAY SIGHT DISTANCE EXHIBIT	

PERMIT NO. PL-PPLATT-21-0002	
DRAWING NO. 9700	
SHEET 10 OF 33	

7/27/2023

SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SIGHT DISTANCE EXHIBIT



Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M. #64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

- LEGEND**
- PROPERTY LINE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED BUILDING SETBACK LINES
 - EASEMENT
 - RIGHT OF WAY LINE
 - PROPOSED EDGE OF PAVEMENT
 - PROPERTY ADJOINER LINE
 - EXISTING INTERNAL PROPERTY LINE
 - RIGHT OF WAY CENTERLINE
 - ROAD CENTERLINE
 - EXISTING WOOD FENCE
 - EXISTING CHAIN LINK FENCE
 - EXISTING WIRE FENCE
 - EXISTING SANITARY SEWER LINE
 - EXISTING STORM DRAIN PIPE
 - EXISTING TELEPHONE LINE
 - EXISTING POWER LINE
 - EXISTING GAS PIPE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING POWER TRANSFORMER
 - EXISTING JUNCTION BOX
 - EXISTING POWER METER
 - EXISTING POWER VAULT
 - EXISTING CATCH BASIN
 - EXISTING WATER METER
 - EXISTING IRRIGATION BOX
 - EXISTING WATER VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER BLOWOFF
 - EXISTING HOSE BIB
 - EXISTING TELEPHONE VAULT
 - EXISTING TELEPHONE RISER
 - SOIL STOCKPILE AREA (APPROX.)
 - EXISTING BOLLARD
 - TEMPORARY BENCH MARK
 - PROPOSED LUMINAIRE POLE (PROPOSED LOCATION)
 - EXISTING RIP RAP
 - EXISTING CONCRETE SIDEWALK
 - EXISTING PAVEMENT
 - PROPOSED PAVEMENT
 - PROPOSED DRIVEWAY APPROACH
 - PROPOSED SIDEWALK

NOTE:
ENGINEER OF RECORD CERTIFIES THAT THE PROPOSED
CONDITIONS WILL HAVE NO OBSTRUCTIONS WITHIN VISION
TRIANGLES ONCE CONSTRUCTED AS REQUIRED BY AASHTO
AND CITY STANDARDS.

PRELIMINARY

REVISIONS	
1.	REV. PER CITY COMMENTS 8/2/2022
2.	REV. PER CITY COMMENTS 9/15/2022
3.	REV. PER CITY COMMENTS 1/23/2023
4.	REV. PER CITY COMMENTS 5/16/2023




LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

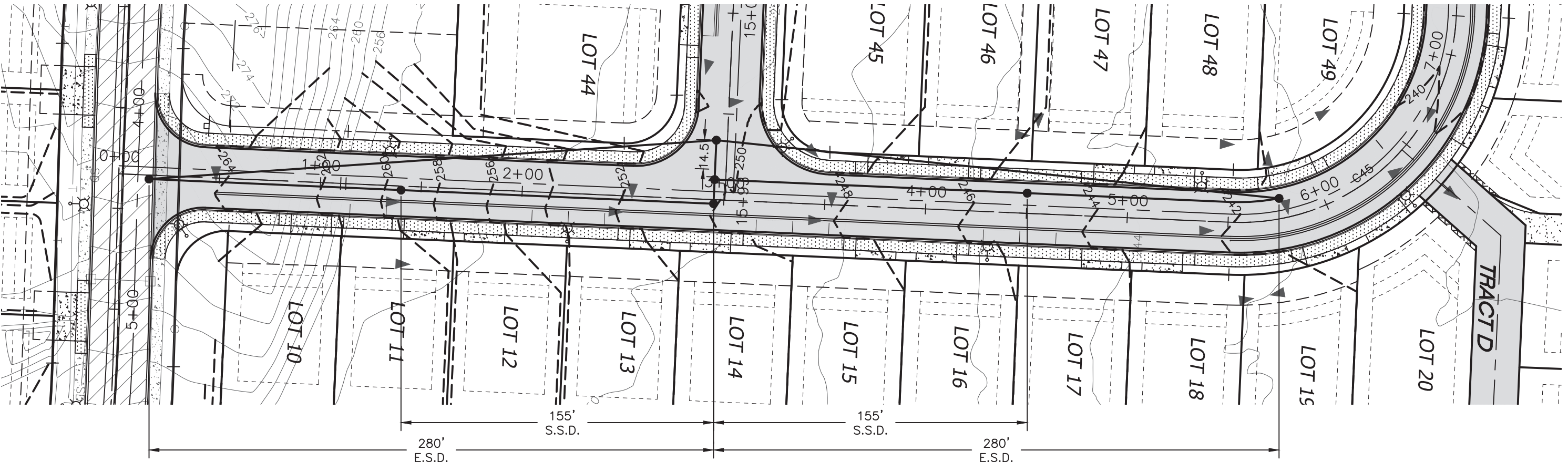
**SUMMIT POINTE
CONCEPTUAL
PLAN**

SIGHT 3
112TH ST S EAST DRIVEWAY SIGHT DISTANCE EXHIBIT

PERMIT NO. PL-PPLATT-21-0002	
DRAWING NO. 9700	
SHEET 11 OF 33	

7/27/2023

SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
SIGHT DISTANCE EXHIBIT



NOTE:
ENGINEER OF RECORD CERTIFIES THAT THE PROPOSED
CONDITIONS WILL HAVE NO OBSTRUCTIONS WITHIN VISION
TRIANGLES ONCE CONSTRUCTED AS REQUIRED BY AASHTO
AND CITY STANDARDS.

Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

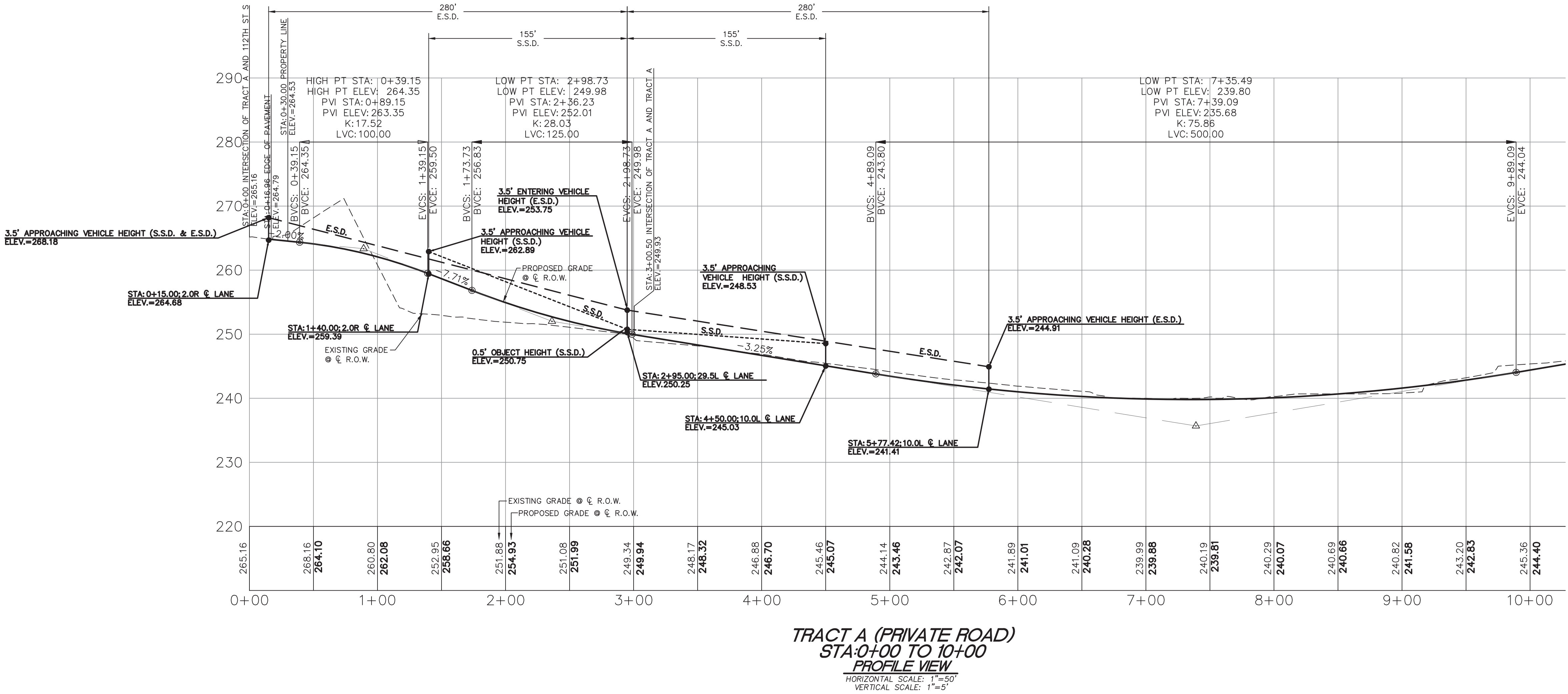
NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M. #64 3" BRASS DISC W/ PUNCH SET IN
CONC. AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS



PRELIMINARY

REVISIONS	
1.	REV. PER CITY COMMENTS 8/2/2022
2.	REV. PER CITY COMMENTS 9/15/2022
3.	REV. PER CITY COMMENTS 1/23/2023
4.	REV. PER CITY COMMENTS 5/16/2023




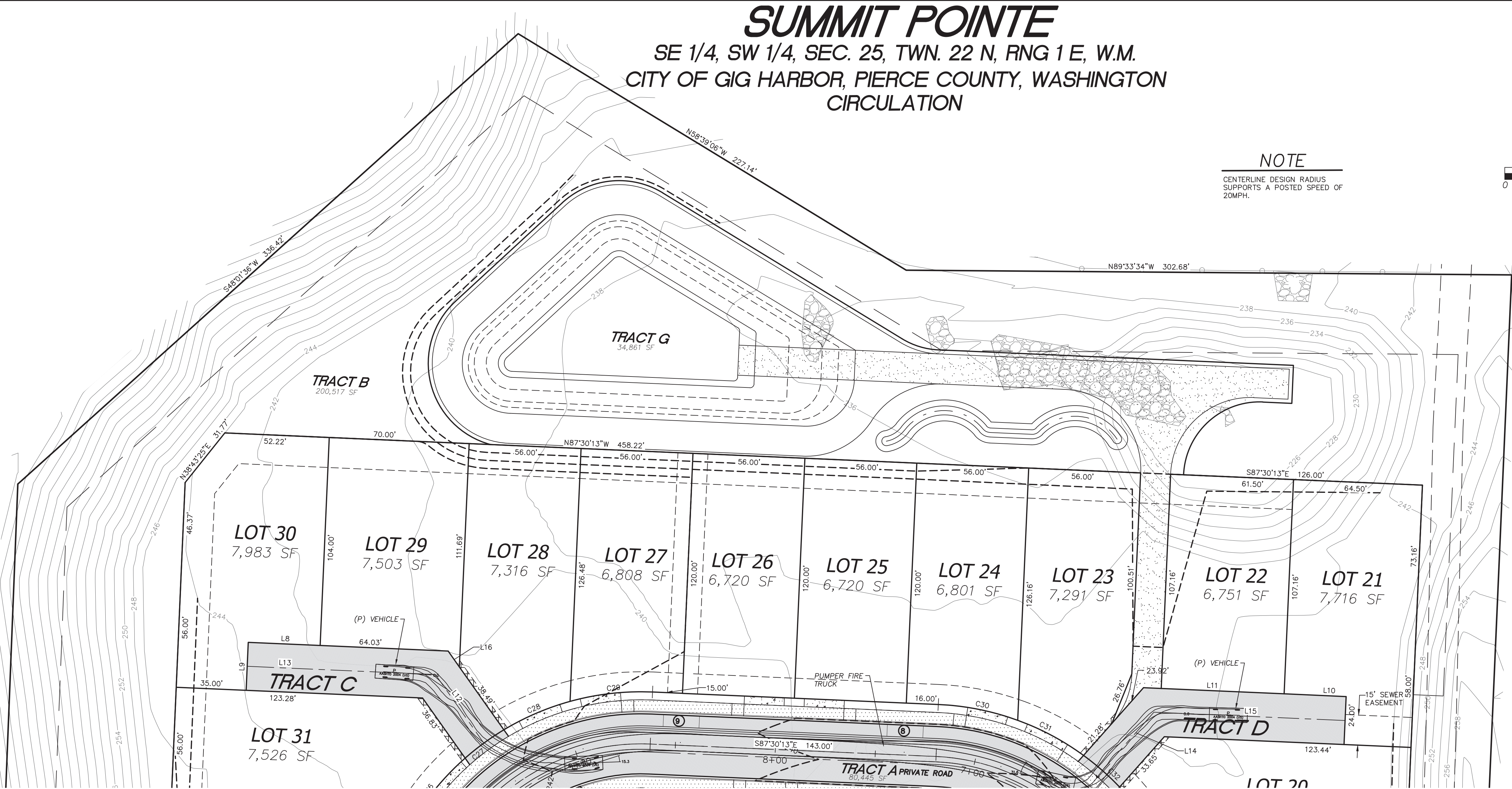
LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

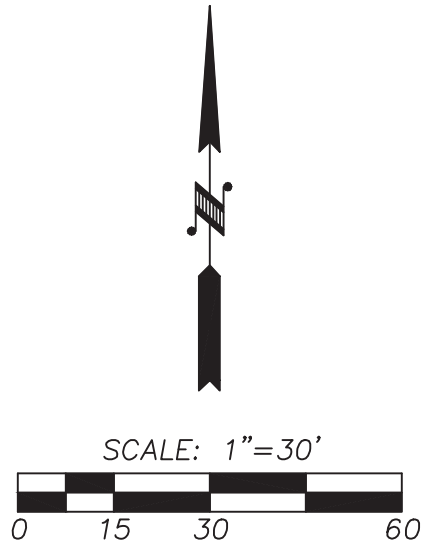
**SUMMIT POINTE
CONCEPTUAL
PLAN**


SIGHT4 TRACT A (PRIVATE ROAD) SIGHT DISTANCE EXHIBIT	PERMIT NO. PL-PPLATT-21-0002	
	DRAWING NO. 9700	
	SHEET OF 12 33	



SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
CIRCULATION

NOTE
CENTERLINE DESIGN RADIUS
SUPPORTS A POSTED SPEED OF
20MPH.



 Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

- LEGEND**
- PROPERTY LINE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED BUILDING SETBACK LINES
 - EASEMENT
 - RIGHT OF WAY LINE
 - PROPOSED EDGE OF PAVEMENT
 - PROPERTY ADJOINER LINE
 - EXISTING INTERNAL PROPERTY LINE
 - RIGHT OF WAY CENTERLINE
 - ROAD CENTERLINE
 - EXISTING WOOD FENCE
 - EXISTING CHAIN LINK FENCE
 - EXISTING WIRE FENCE
 - EXISTING SANITARY SEWER LINE
 - EXISTING STORM DRAIN PIPE
 - EXISTING TELEPHONE LINE
 - EXISTING POWER LINE
 - EXISTING GAS PIPE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING POWER TRANSFORMER
 - EXISTING JUNCTION BOX
 - EXISTING POWER METER
 - EXISTING POWER VAULT
 - EXISTING CATCH BASIN
 - EXISTING WATER METER
 - EXISTING IRRIGATION BOX
 - EXISTING WATER VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER BLOWOFF
 - EXISTING HOSE BIB
 - EXISTING TELEPHONE VAULT
 - EXISTING TELEPHONE RISER
 - SOIL STOCKPILE AREA (APPROX.)
 - EXISTING BOLLARD
 - EXISTING RIP RAP
 - EXISTING CONCRETE SIDEWALK
 - EXISTING PAVEMENT
 - PROPOSED PAVEMENT
 - PROPOSED DRIVEWAY APPROACH
 - PROPOSED SIDEWALK
 - PROPOSED ON-STREET PARKING LINE
 - TEMPORARY BENCH MARK
 - PROPOSED SIGN
 - PROPOSED PARKING STALL

NO PARKING NOTE

NO PARKING SIGNS SHALL BE
PLACED AT 50' APART ALONG THE
ROAD ON THE OPPOSITE SIDE OF
THE PARKING LANE.

CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR
THE LOCATION AND PROTECTION OF ALL EXISTING
UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY
LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE
UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48
HOURS PRIOR TO ANY EXCAVATION.

REVISIONS	
1.	REV. PER CITY COMMENTS 8/2/2022
2.	REV. PER CITY COMMENTS 9/15/2022
3.	REV. PER CITY COMMENTS 1/23/2023
4.	REV. PER CITY COMMENTS 5/16/2023




LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404


DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

**SUMMIT POINTE
CONCEPTUAL
PLAN**

CIRCULATION 1	CI 1	PERMIT NO. PL-PPLATT-21-0002	
		DRAWING NO. 9700	
		SHEET OF 13 33	

SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
CIRCULATION

NOTE
CENTERLINE DESIGN RADIUS
SUPPORTS A POSTED SPEED OF
20MPH.


Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B
VERTICAL DATUM
(WSRN)
NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

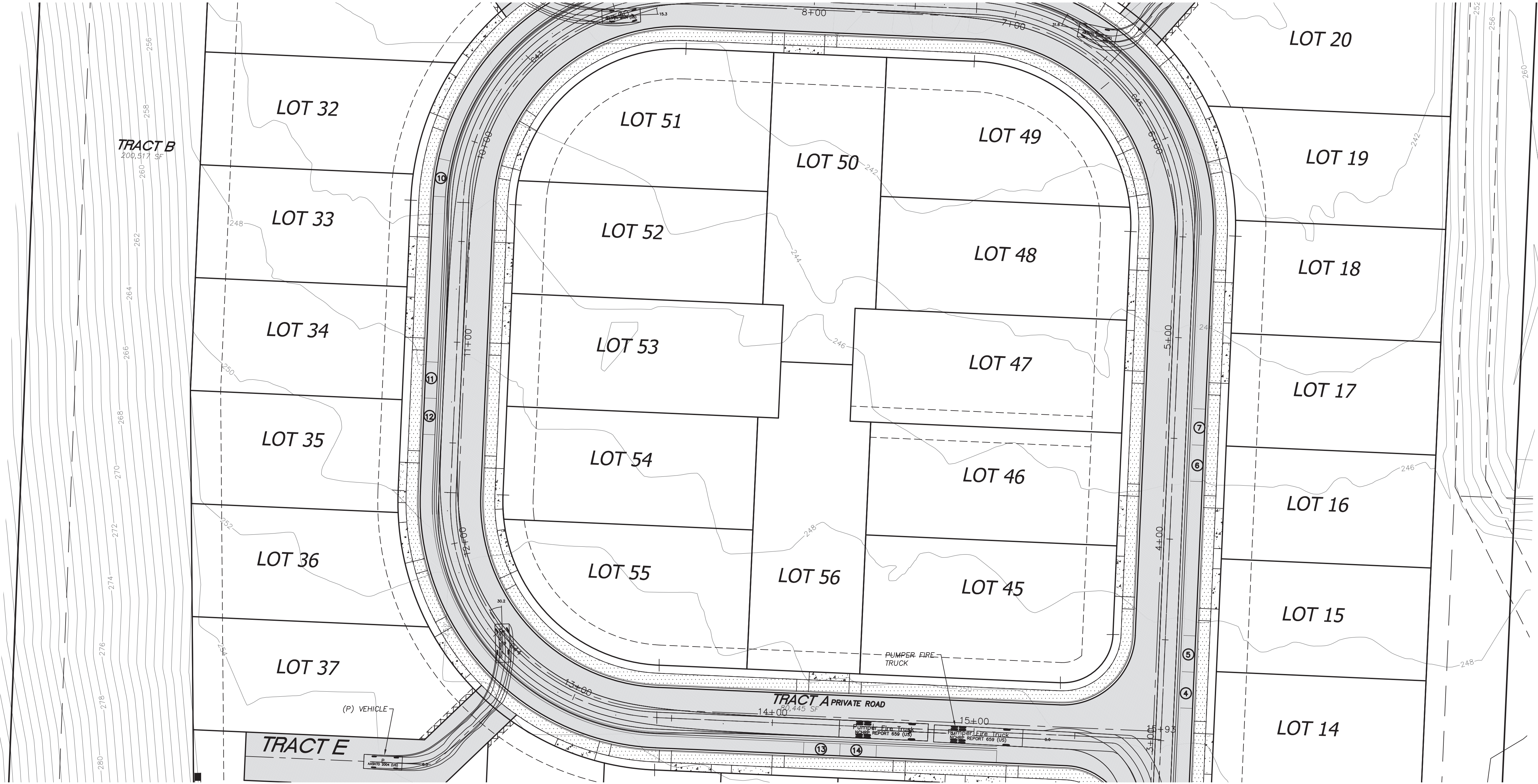
SCALE: 1"=30'
0 15 30 60

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED BUILDING SETBACK LINES
- EASEMENT
- RIGHT OF WAY LINE
- PROPOSED EDGE OF PAVEMENT
- PROPERTY ADJOINER LINE
- EXISTING INTERNAL PROPERTY LINE
- RIGHT OF WAY CENTERLINE
- ROAD CENTERLINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING WIRE FENCE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN PIPE
- EXISTING TELEPHONE LINE
- EXISTING POWER LINE
- EXISTING GAS PIPE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING POWER TRANSFORMER
- EXISTING JUNCTION BOX
- EXISTING POWER METER
- EXISTING POWER VAULT
- EXISTING CATCH BASIN
- EXISTING WATER METER
- EXISTING IRRIGATION BOX
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING WATER BLOWOFF
- EXISTING HOSE BIB
- EXISTING TELEPHONE VAULT
- EXISTING TELEPHONE RISER
- SOIL STOCKPILE AREA (APPROX.)
- EXISTING BOLLARD
- EXISTING RIP RAP
- EXISTING CONCRETE SIDEWALK
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- PROPOSED DRIVEWAY APPROACH
- PROPOSED SIDEWALK
- PROPOSED ON-STREET PARKING LINE
- TEMPORARY BENCH MARK
- PROPOSED SIGN
- PROPOSED PARKING STALL



NO PARKING NOTE

NO PARKING SIGNS SHALL BE
PLACED AT 50' APART ALONG THE
ROAD ON THE OPPOSITE SIDE OF
THE PARKING LANE.

CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR
THE LOCATION AND PROTECTION OF ALL EXISTING
UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY
LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE
UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48
HOURS PRIOR TO ANY EXCAVATION.

REVISIONS	
1.	REV. PER CITY COMMENTS 8/2/2022
2.	REV. PER CITY COMMENTS 9/15/2022
3.	REV. PER CITY COMMENTS 1/23/2023
4.	REV. PER CITY COMMENTS 5/16/2023




LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

**SUMMIT POINTE
CONCEPTUAL
PLAN**

CI 2 CIRCULATION 2	PERMIT NO. PL-PPLATT-21-0002	
	DRAWING NO. 9700	
	SHEET OF 14 33	

PRELIMINARY

7/27/2023

SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
CIRCULATION

NOTE
CENTERLINE DESIGN RADIUS
SUPPORTS A POSTED SPEED OF
20MPH.

Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

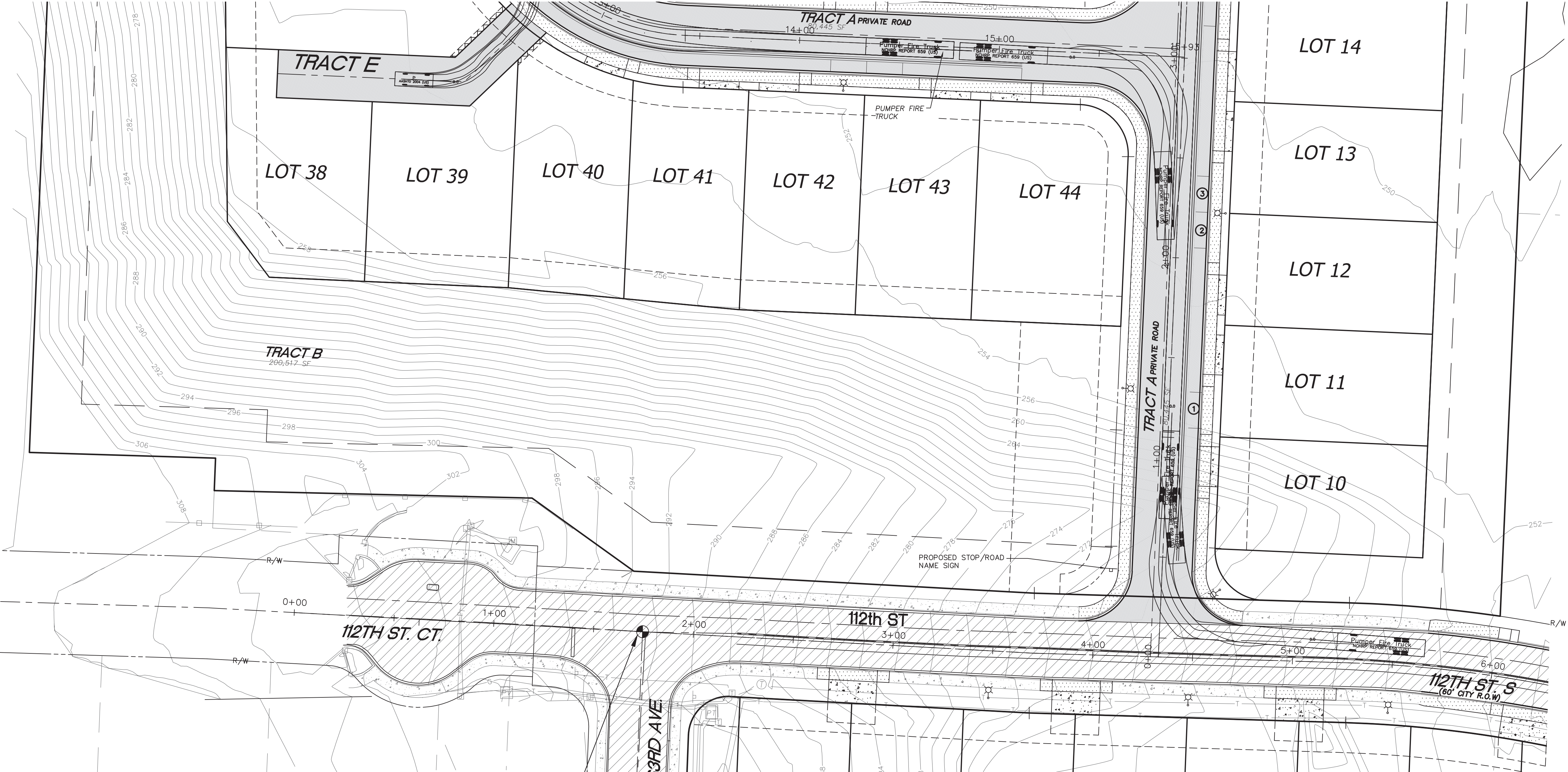
NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED BUILDING SETBACK LINES
- EASEMENT
- RIGHT OF WAY LINE
- PROPOSED EDGE OF PAVEMENT
- PROPERTY ADJOINER LINE
- EXISTING INTERNAL PROPERTY LINE
- RIGHT OF WAY CENTERLINE
- ROAD CENTERLINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING WIRE FENCE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN PIPE
- EXISTING TELEPHONE LINE
- EXISTING POWER LINE
- EXISTING GAS PIPE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING POWER TRANSFORMER
- EXISTING JUNCTION BOX
- EXISTING POWER METER
- EXISTING POWER VAULT
- EXISTING CATCH BASIN
- EXISTING WATER METER
- EXISTING IRRIGATION BOX
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING WATER BLOWOFF
- EXISTING HOSE BIB
- EXISTING TELEPHONE VAULT
- EXISTING TELEPHONE RISER
- SOIL STOCKPILE AREA (APPROX.)
- EXISTING BOLLARD
- EXISTING RIP RAP
- EXISTING CONCRETE SIDEWALK
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- PROPOSED SIDEWALK
- PROPOSED ON-STREET PARKING LINE
- TEMPORARY BENCH MARK
- PROPOSED SIGN
- PROPOSED PARKING STALL



UTILITY CONFLICT NOTE:
CAUTION:
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

NO PARKING NOTE
NO PARKING SIGNS SHALL BE PLACED AT 50' APART ALONG THE ROAD ON THE OPPOSITE SIDE OF THE PARKING LANE.

LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY: JC
DRAWN BY: PB
CHECKED BY: JC
APPROVED BY: —
SCALE: AS SHOWN
OTHER: —

**SUMMIT POINTE
CONCEPTUAL
PLAN**

CI 3

CIRCULATION
3

PERMIT NO.
PL-PPLAT-21-0002
DRAWING NO.
9700
SHEET OF
15 33

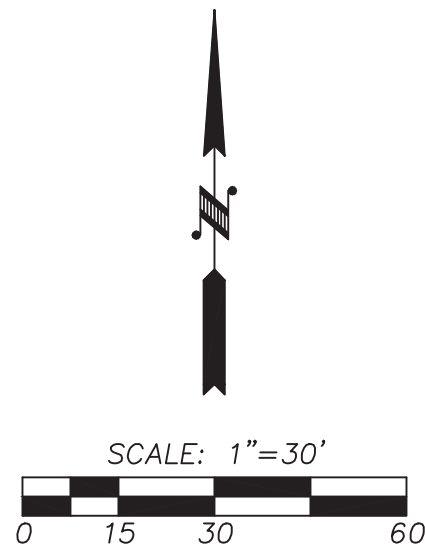
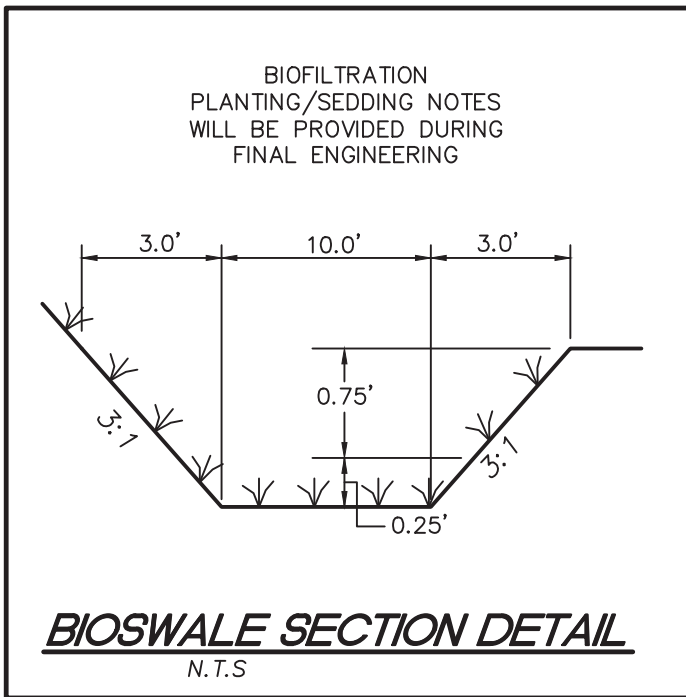


PRELIMINARY

7/27/2023

SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
GRADING, DRAINAGE, AND EROSION CONTROL



VERTICAL DATUM
(WSRN)

NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC. AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND	
	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED BUILDING SETBACK LINES
	EASEMENT
	RIGHT OF WAY LINE
	PROPOSED EDGE OF PAVEMENT
	PROPERTY ADJOINER LINE
	EXISTING INTERNAL PROPERTY LINE
	RIGHT OF WAY CENTERLINE
	ROAD CENTERLINE
	EXISTING WOOD FENCE
	EXISTING CHAIN LINK FENCE
	EXISTING WIRE FENCE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING TELEPHONE LINE
	EXISTING POWER LINE
	EXISTING GAS PIPE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER TRANSFORMER
	EXISTING JUNCTION BOX
	EXISTING POWER METER
	EXISTING POWER VAULT
	EXISTING CATCH BASIN
	EXISTING WATER METER
	EXISTING IRRIGATION BOX
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER BLOWOFF
	EXISTING HOSE BIB
	EXISTING TELEPHONE VAULT
	EXISTING TELEPHONE RISER
	SOIL STOCKPILE AREA (APPROX.)
	EXISTING BOLLARD
	EXISTING RIP RAP
	EXISTING CONCRETE SIDEWALK
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED DRIVEWAY APPROACH
	PROPOSED SIDEWALK
	PROPOSED STORM PIPE
	PROPOSED CATCH BASIN
	TEMPORARY BENCH MARK
	SILT FENCE
	CLEARING LIMITS
	GEOTECH TEST PIT LOCATIONS
	PROPOSED RIP RAP PAD

UTILITY CONFLICT NOTE:
CAUTION:
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY: JC
DRAWN BY: PB
CHECKED BY: JC
APPROVED BY: —
SCALE: AS SHOWN
OTHER: —

SUMMIT POINTE CONCEPTUAL PLAN

R1

GRADING, DRAINAGE
& EROSION CONTROL
1

PERMIT NO.
P-PLATT-21-0002
DRAWING NO.
9700
SHEET OF
16 33



PRELIMINARY

7/27/2023

SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
GRADING, DRAINAGE, AND EROSION CONTROL

Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M. #64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM
NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED BUILDING SETBACK LINES
- EASEMENT
- RIGHT OF WAY LINE
- PROPOSED EDGE OF PAVEMENT
- PROPERTY ADJOINER LINE
- EXISTING INTERNAL PROPERTY LINE
- RIGHT OF WAY CENTERLINE
- ROAD CENTERLINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING WIRE FENCE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN PIPE
- EXISTING TELEPHONE LINE
- EXISTING POWER LINE
- EXISTING GAS PIPE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING POWER TRANSFORMER
- EXISTING JUNCTION BOX
- EXISTING POWER METER
- EXISTING POWER VAULT
- EXISTING CATCH BASIN
- EXISTING WATER METER
- EXISTING IRRIGATION BOX
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING WATER BLOWOFF
- EXISTING HOSE BIB
- EXISTING TELEPHONE VAULT
- EXISTING TELEPHONE RISER
- SOIL STOCKPILE AREA (APPROX.)
- EXISTING BOLLARD
- EXISTING RIP RAP
- EXISTING CONCRETE SIDEWALK
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- PROPOSED SIDEWALK
- PROPOSED STORM PIPE
- PROPOSED CATCH BASIN
- TEMPORARY BENCH MARK
- SILT FENCE
- CLEARING LIMITS
- GEOTECH TEST PIT LOCATIONS
- PROPOSED VALLEY GUTTER

UTILITY CONFLICT NOTE:

CAUTION:
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS	
1.	REV. PER CITY COMMENTS 8/2/2022
2.	REV. PER CITY COMMENTS 9/15/2022
3.	REV. PER CITY COMMENTS 1/23/2023
4.	REV. PER CITY COMMENTS 5/16/2023



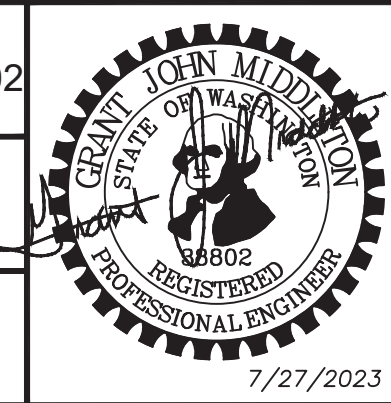
LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

**SUMMIT POINTE
CONCEPTUAL
PLAN**

R2
GRADING, DRAINAGE & EROSION CONTROL
2

PERMIT NO. PL-PPLAT-21-0002	
DRAWING NO. 9700	
SHEET OF 17 33	

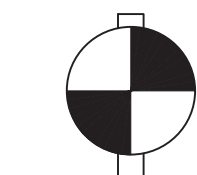
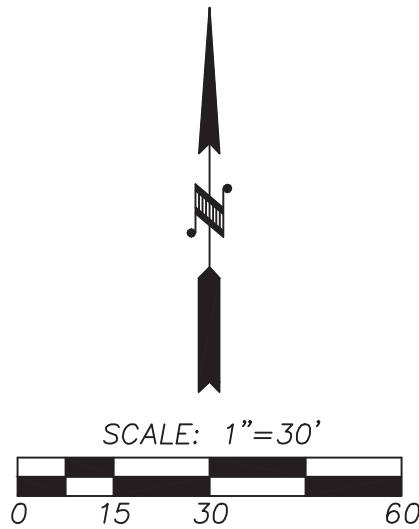
7/27/2023

*RETAINING WALL HEIGHT TABLE		
	TOP WALL	BOTTOM WALL
①	256.00	256.00
②	258.00	256.00
③	260.00	256.00
④	264.00	258.00
⑤	264.00	258.00
⑥	262.00	256.00
⑦	260.00	256.00
⑧	257.00	256.00

*SEE RETAINING WALL DETAIL ON SHEET SP6.

SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
GRADING, DRAINAGE, AND EROSION CONTROL



VERTICAL DATUM
(WSRN)

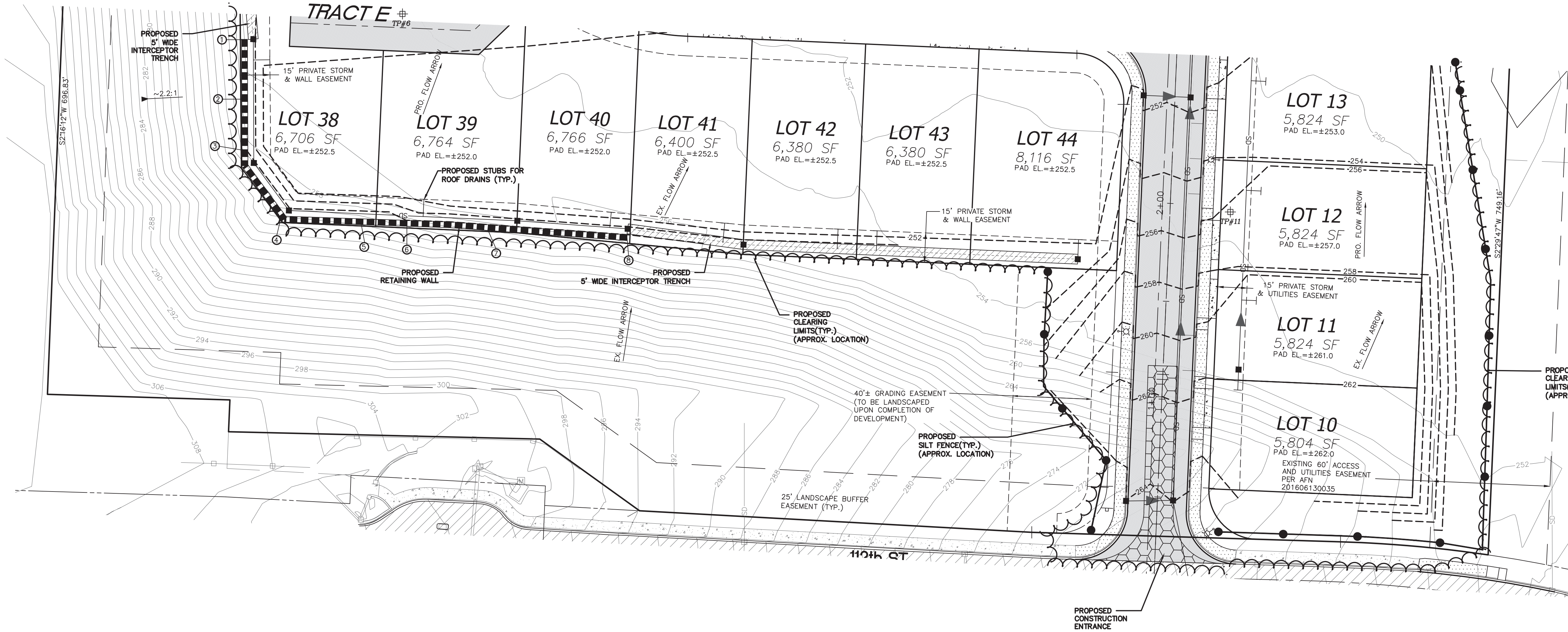
NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED BUILDING SETBACK LINES
	EASEMENT
	RIGHT OF WAY LINE
	PROPOSED EDGE OF PAVEMENT
	PROPERTY ADJOINER LINE
	EXISTING INTERNAL PROPERTY LINE
	RIGHT OF WAY CENTERLINE
	ROAD CENTERLINE
	EXISTING WOOD FENCE
	EXISTING CHAIN LINK FENCE
	EXISTING WIRE FENCE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING TELEPHONE LINE
	EXISTING POWER LINE
	EXISTING GAS PIPE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER TRANSFORMER
	EXISTING JUNCTION BOX
	EXISTING POWER METER
	EXISTING POWER VAULT
	EXISTING CATCH BASIN
	EXISTING WATER METER
	EXISTING IRRIGATION BOX
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER BLOWOFF
	EXISTING HOSE BIB
	EXISTING TELEPHONE VAULT
	EXISTING TELEPHONE RISER
	SOIL STOCKPILE AREA (APPROX.)
	EXISTING BOLLARD
	EXISTING RIP RAP
	EXISTING CONCRETE SIDEWALK
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED DRIVEWAY APPROACH
	PROPOSED SIDEWALK
	PROPOSED STORM PIPE
	PROPOSED CATCH BASIN
	TEMPORARY BENCH MARK
	SILT FENCE
	CLEARING LIMITS
	GEOTECH TEST PIT LOCATIONS



UTILITY CONFLICT NOTE:

CAUTION:

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS

- REV. PER CITY COMMENTS 8/2/2022
- REV. PER CITY COMMENTS 9/15/2022
- REV. PER CITY COMMENTS 1/23/2023
- REV. PER CITY COMMENTS 5/16/2023



LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

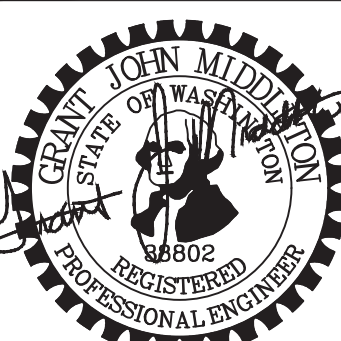
DESIGNED BY: JC
DRAWN BY: PB
CHECKED BY: JC
APPROVED BY: —
SCALE: AS SHOWN
OTHER: —

SUMMIT POINTE CONCEPTUAL PLAN

R3

GRADING, DRAINAGE
& EROSION CONTROL
3

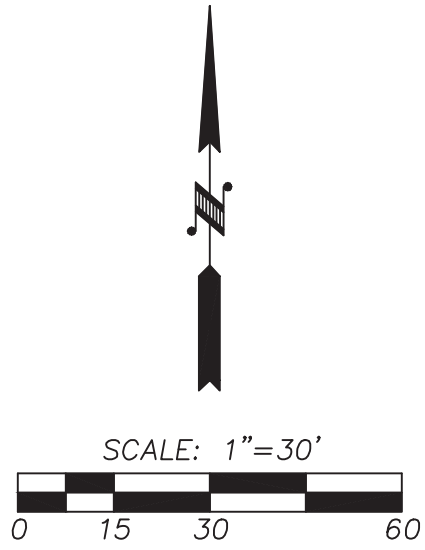
PERMIT NO.
PL-PPLATT-21-0002
DRAWING NO.
9700
SHEET OF
18 33



7/27/2023

PRELIMINARY

SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
GRADING, DRAINAGE, AND EROSION CONTROL



Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

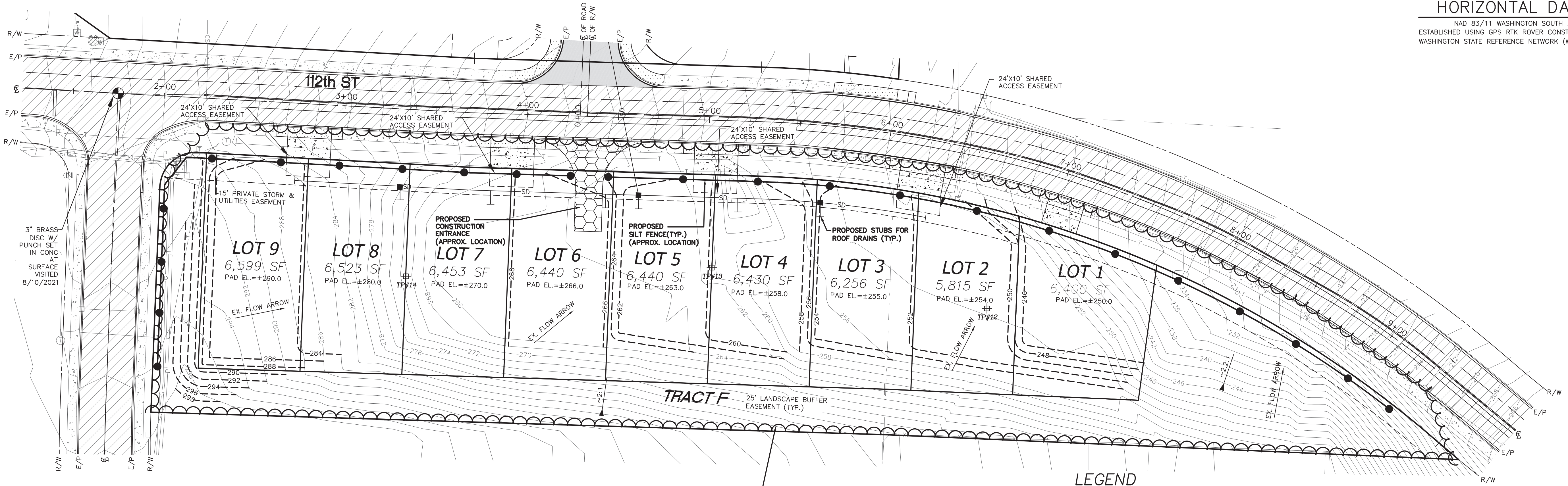
NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS



PROPOSED
CLEARING
LIMITS(TYP.)
(APPROX. LOCATION)

LEGEND

	PROPERTY LINE		EXISTING JUNCTION BOX		CONSTRUCTION ENTRANCE
	EXISTING CONTOUR		EXISTING POWER METER		SILT FENCE
	PROPOSED CONTOUR		EXISTING POWER VAULT		CLEARING LIMITS
	PROPOSED BUILDING SETBACK LINES		EXISTING CATCH BASIN		PROPOSED STORM PIPE
	EASEMENT		EXISTING WATER METER		PROPOSED CATCH BASIN
	RIGHT OF WAY LINE		EXISTING IRRIGATION BOX		GEOTECH TEST PIT LOCATIONS
	PROPOSED EDGE OF PAVEMENT		EXISTING WATER VALVE		
	PROPERTY ADJOINER LINE		EXISTING FIRE HYDRANT		
	EXISTING INTERNAL PROPERTY LINE		EXISTING WATER BLOWOFF		
	RIGHT OF WAY CENTERLINE		EXISTING HOSE BIB		
	ROAD CENTERLINE		EXISTING TELEPHONE VAULT		
	EXISTING WOOD FENCE		EXISTING TELEPHONE RISER		
	EXISTING CHAIN LINK FENCE		SOIL STOCKPILE AREA (APPROX.)		
	EXISTING WIRE FENCE		EXISTING BOLLARD		
	EXISTING SANITARY SEWER LINE		EXISTING RIP RAP		
	EXISTING STORM DRAIN PIPE		EXISTING CONCRETE SIDEWALK		
	EXISTING TELEPHONE LINE		EXISTING PAVEMENT		
	EXISTING POWER LINE		PROPOSED PAVEMENT		
	EXISTING GAS PIPE		PROPOSED SIDEWALK		
	EXISTING SANITARY SEWER MANHOLE		TEMPORARY BENCH MARK		
	EXISTING POWER TRANSFORMER				

UTILITY CONFLICT NOTE:

CAUTION:

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS

- REV. PER CITY COMMENTS 8/2/2022
- REV. PER CITY COMMENTS 9/15/2022
- REV. PER CITY COMMENTS 1/23/2023
- REV. PER CITY COMMENTS 5/16/2023



LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY: JC
DRAWN BY: PB
CHECKED BY: JC
APPROVED BY: —
SCALE: AS SHOWN
OTHER: —

**SUMMIT POINTE
CONCEPTUAL
PLAN**

R4

**GRADING, DRAINAGE,
& EROSION CONTROL**

4

PERMIT NO.
PL-PLATT-21-0002

DRAWING NO.
9700

SHEET OF
19 33



PRELIMINARY

SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
TRACT A (PRIVATE ROAD) PROFILE VIEW

Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

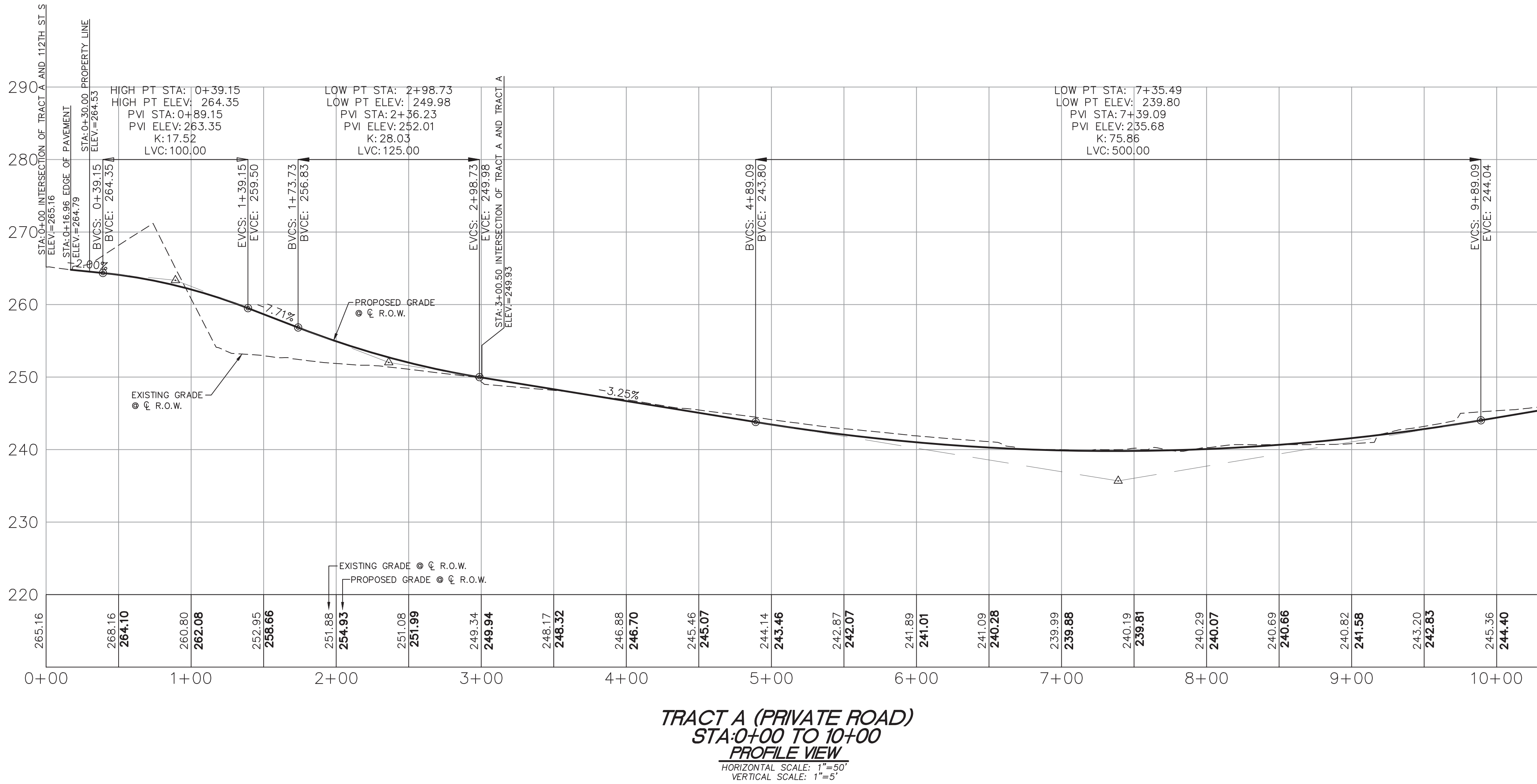
NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M. #64 3" BRASS DISC W/ PUNCH SET IN
CONC. AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS



PRELIMINARY

REVISIONS	
1.	REV. PER CITY COMMENTS 8/2/2022
2.	REV. PER CITY COMMENTS 9/15/2022
3.	REV. PER CITY COMMENTS 1/23/2023
4.	REV. PER CITY COMMENTS 5/16/2023



LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

**SUMMIT POINTE
CONCEPTUAL
PLAN**

R5
TRACT A (PRIVATE ROAD) PROFILE VIEW STA:0+00 TO 10+00

PERMIT NO. PL-PLATT-21-0002
DRAWING NO. 9700
SHEET OF 20 33



7/27/2023

SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
TRACT A (PRIVATE ROAD) PROFILE VIEW

Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

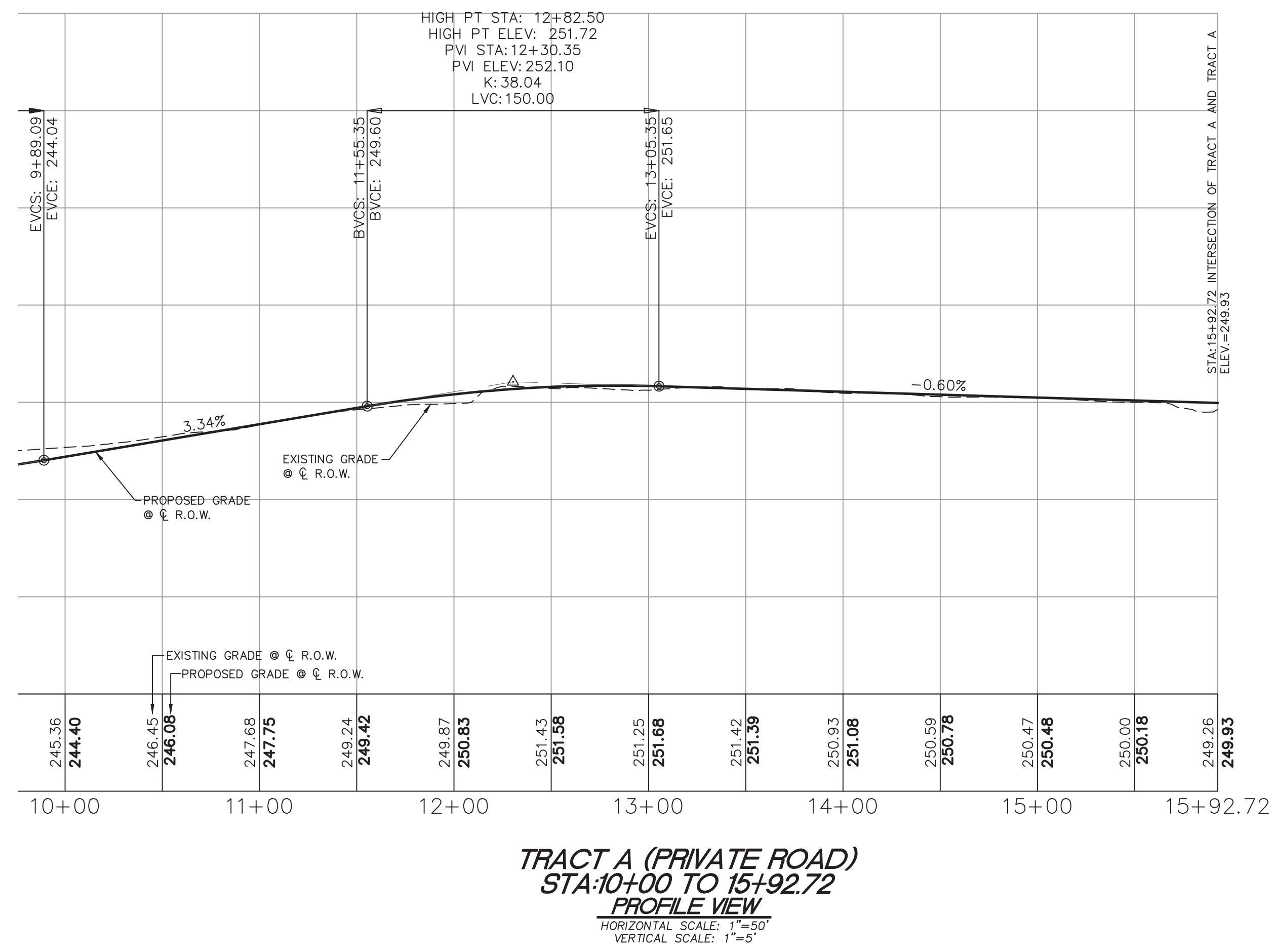
CITY OF GIG HARBOR B.M. #64 3" BRASS DISC W/ PUNCH SET IN
CONC. AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'

TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS



PRELIMINARY

REVISIONS	<div><div></div><div>LARSON and ASSOCIATES surveyors, engineers & planners</div><div>9027 PACIFIC AVENUE, SUITE 4 TACOMA, WA. 98444 (253) 474-3404</div></div>	DESIGNED BY: JC DRAWN BY: PB CHECKED BY: JC APPROVED BY: — SCALE: AS SHOWN OTHER: —	SUMMIT POINTE CONCEPTUAL PLAN	R6	PERMIT NO. PL-PLATT-21-0002	<div><div>GRANT JOHN MULLIN STATE OF WASHINGTON REGISTERED PROFESSIONAL ENGINEER 88802</div><div>7/27/2023</div></div>
					DRAWING NO. 9700	
				TRACT A (PRIVATE ROAD) PROFILE VIEW STA:10+00 TO 15+92.72	SHEET OF 21 33	

SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
COMPOSITE UTILITY

Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M. #64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED BUILDING SETBACK LINES
- EASEMENT
- RIGHT OF WAY LINE
- PROPOSED EDGE OF PAVEMENT
- PROPERTY ADJOINER LINE
- EXISTING INTERNAL PROPERTY LINE
- RIGHT OF WAY CENTERLINE
- ROAD CENTERLINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING WIRE FENCE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN PIPE
- EXISTING TELEPHONE LINE
- EXISTING POWER LINE
- EXISTING GAS PIPE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING POWER TRANSFORMER
- EXISTING JUNCTION BOX
- EXISTING POWER METER
- EXISTING POWER VAULT
- EXISTING CATCH BASIN
- EXISTING WATER METER
- EXISTING IRRIGATION BOX
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING WATER BLOWOFF
- EXISTING HOSE BIB
- EXISTING TELEPHONE VAULT
- EXISTING TELEPHONE RISER
- SOIL STOCKPILE AREA (APPROX.)
- EXISTING BOLLARD
- EXISTING RIP RAP
- EXISTING CONCRETE SIDEWALK
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- PROPOSED DRIVEWAY APPROACH
- PROPOSED SIDEWALK
- PROPOSED ON-STREET PARKING LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM DRAIN PIPE
- PROPOSED CATCH BASIN
- PROPOSED WATER PIPE
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT

EX. SEWER EASEMENT NOTE

15'-FT SANITARY SEWER EASEMENT SHOWN PER RECORD
AS-BUILT DRAWINGS PREPARED BY APEX ENGINEERING
AND APPROVED BY THE CITY IN JULY, 2003.

EX. SDMH TYPE 2
BEEHIVE GRATE
RIM=236.13
I.E.=236.23(E 12"ADJ)
NEW I.E.=236.23(12"W)
(EMERGENCY OVERFLOW)
LADDER=WEST

EX. SSMH #20A
RIM EL=±228.80
I.E.(W)8"PVC=225.88
I.E.(S)8"PVC=225.78

SCALE: 1"=30'
0 15 30 60

EX. SSMH #20
RIM EL=230.50
I.E.(N)8"PVC=225.50
I.E.(S)8"PVC=225.30

EX. SEWER MAIN
395LF~8"PVC @ 0.47%

EX. SSMH TYPE 2
RIM EL=243.61
I.E.(N)8"PVC=223.60
I.E.(S)8"PVC=223.59
LADDER=WEST

EXISTING 15' SEWER EASEMENT
PER AFN 200310200154 &
202306090257

EX. SEWER MAIN
154LF~8"PVC @ 0.52%

SSMH#5 TYPE 1(48")
RIM=250.76 (FIELD ADJUST)
I.E.=222.70(N 8"PVC)
I.E.=223.80(W 8"PVC)
I.E.=222.70(S 8"PVC)

EX. SEWER MAIN
246LF~8"PVC @ 0.52%

EVA FIRE LANE NOTE

SIGNING AND MARKING OF FIRE
LANES ARE REQUIRED PER CITY
STANDARDS ALONG THE EVA. EVA
LESS THAN 26 FEET SHALL BE
MARKED AND SIGNED ON BOTH
SIDES OF THE ROADWAY.

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR
THE LOCATION AND PROTECTION OF ALL EXISTING
UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY
LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE
UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48
HOURS PRIOR TO ANY EXCAVATION.

UTILITY CONFLICT NOTE:

CAUTION:

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES
WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL
LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF
THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS
EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION
AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT
ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

REVISIONS

- REV. PER CITY COMMENTS 8/2/2022
- REV. PER CITY COMMENTS 9/15/2022
- REV. PER CITY COMMENTS 1/23/2023
- REV. PER CITY COMMENTS 5/16/2023



LARSON and ASSOCIATES
surveyors, engineers & planners

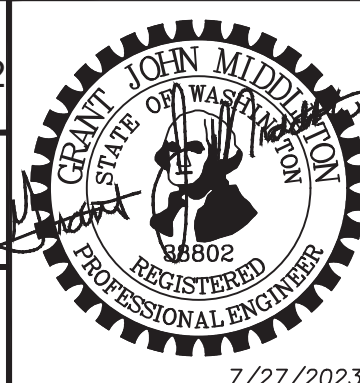
9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY: JC
DRAWN BY: PB
CHECKED BY: JC
APPROVED BY: —
SCALE: AS SHOWN
OTHER: —

**SUMMIT POINTE
CONCEPTUAL
PLAN**

UTIL 1
COMPOSITE
UTILITY
1

PERMIT NO.
PL-PPLATT-21-0002
DRAWING NO.
9700
SHEET OF
22 33



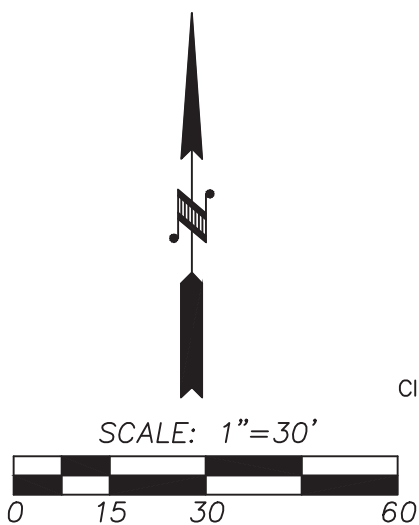
7/27/2023

PRELIMINARY

SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
COMPOSITE UTILITY

EX. SEWER EASEMENT NOTE

15-FT SANITARY SEWER EASEMENT SHOWN PER RECORD
AS-BUILT DRAWINGS PREPARED BY APEX ENGINEERING
AND APPROVED BY THE CITY IN JULY, 2003.



Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M. #64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED BUILDING SETBACK LINES
- EASEMENT
- RIGHT OF WAY LINE
- PROPOSED EDGE OF PAVEMENT
- PROPERTY ADJOINER LINE
- EXISTING INTERNAL PROPERTY LINE
- RIGHT OF WAY CENTERLINE
- ROAD CENTERLINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING WIRE FENCE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN PIPE
- EXISTING TELEPHONE LINE
- EXISTING POWER LINE
- EXISTING GAS PIPE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING POWER TRANSFORMER
- EXISTING JUNCTION BOX
- EXISTING POWER METER
- EXISTING POWER VAULT
- EXISTING CATCH BASIN
- EXISTING WATER METER
- EXISTING IRRIGATION BOX
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING WATER BLOWOFF
- EXISTING HOSE BIB
- EXISTING TELEPHONE VAULT
- EXISTING TELEPHONE RISER
- SOIL STOCKPILE AREA (APPROX.)
- EXISTING BOLLARD
- EXISTING RIP RAP
- EXISTING CONCRETE SIDEWALK
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- PROPOSED DRIVEWAY APPROACH
- PROPOSED SIDEWALK
- PROPOSED ON-STREET PARKING LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM DRAIN PIPE
- PROPOSED CATCH BASIN
- PROPOSED WATER PIPE
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT

EVA FIRE LANE NOTE

SIGNING AND MARKING OF FIRE
LANES ARE REQUIRED PER CITY
STANDARDS ALONG THE EVA. EVA
LESS THAN 26 FEET SHALL BE
MARKED AND SIGNED ON BOTH
SIDES OF THE ROADWAY.

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR
THE LOCATION AND PROTECTION OF ALL EXISTING
UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY
LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE
UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48
HOURS PRIOR TO ANY EXCAVATION.

UTILITY CONFLICT NOTE:

CAUTION:

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES
WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL
LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF
THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS
EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION
AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT
ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

REVISIONS

- REV. PER CITY COMMENTS 8/2/2022
- REV. PER CITY COMMENTS 9/15/2022
- REV. PER CITY COMMENTS 1/23/2023
- REV. PER CITY COMMENTS 5/16/2023

LARSON and ASSOCIATES
surveyors, engineers & planners

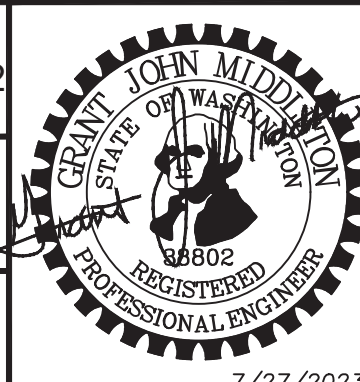
9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY: JC
DRAWN BY: PB
CHECKED BY: JC
APPROVED BY: —
SCALE: AS SHOWN
OTHER: —

**SUMMIT POINTE
CONCEPTUAL
PLAN**

UTIL 2
**COMPOSITE
UTILITY**
2

PERMIT NO.
PL-PPLATT-21-0002
DRAWING NO.
9700
SHEET OF
23 33



PRELIMINARY

7/27/2023

SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
COMPOSITE UTILITY

Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS

CITY OF GIG HARBOR B.M. #64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

SCALE: 1"=30'
0 15 30 60

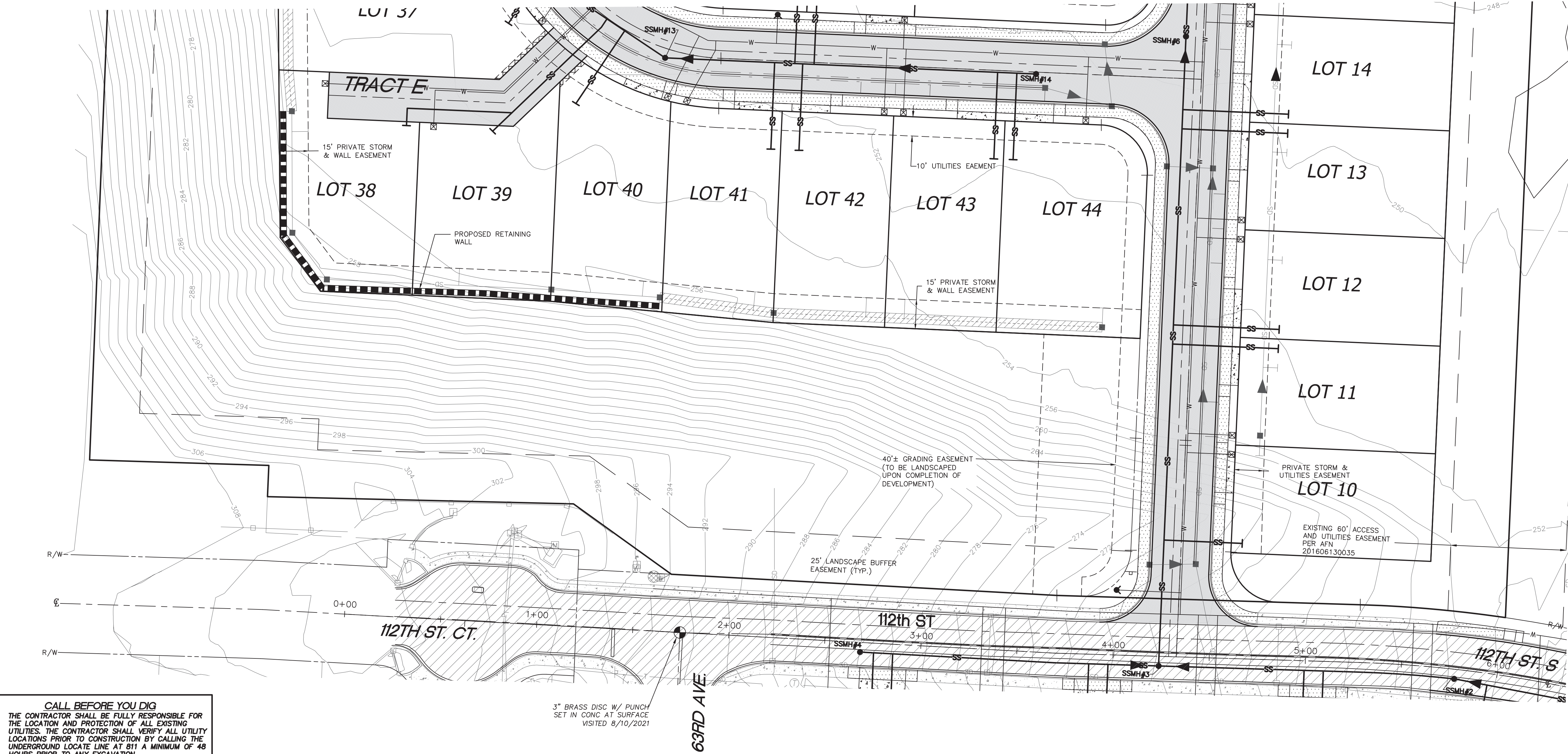
CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

- PROPERTY LINE
EXISTING CONTOUR
PROPOSED CONTOUR
PROPOSED BUILDING SETBACK LINES
EASEMENT
RIGHT OF WAY LINE
PROPOSED EDGE OF PAVEMENT
PROPERTY ADJOINER LINE
EXISTING INTERNAL PROPERTY LINE
RIGHT OF WAY CENTERLINE
ROAD CENTERLINE
EXISTING WOOD FENCE
EXISTING CHAIN LINK FENCE
EXISTING WIRE FENCE
EXISTING SANITARY SEWER LINE
EXISTING STORM DRAIN PIPE
EXISTING TELEPHONE LINE
EXISTING POWER LINE
EXISTING GAS PIPE
EXISTING SANITARY SEWER MANHOLE
EXISTING POWER TRANSFORMER
EXISTING JUNCTION BOX
EXISTING POWER METER
EXISTING POWER VAULT
EXISTING CATCH BASIN
EXISTING WATER METER
EXISTING IRRIGATION BOX
EXISTING WATER VALVE
EXISTING FIRE HYDRANT
EXISTING WATER BLOWOFF
EXISTING HOSE BIB
EXISTING TELEPHONE VAULT
EXISTING TELEPHONE RISER
SOIL STOCKPILE AREA (APPROX.)
EXISTING BOLLARD
EXISTING RIP RAP
EXISTING CONCRETE SIDEWALK
EXISTING PAVEMENT
PROPOSED PAVEMENT
PROPOSED DRIVEWAY APPROACH
PROPOSED SIDEWALK
PROPOSED ON-STREET PARKING LINE
PROPOSED SANITARY SEWER MANHOLE
PROPOSED SANITARY SEWER LINE
PROPOSED STORM DRAIN PIPE
PROPOSED CATCH BASIN
PROPOSED WATER PIPE
PROPOSED WATER METER
PROPOSED FIRE HYDRANT

PRELIMINARY



CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR
THE LOCATION AND PROTECTION OF ALL EXISTING
UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY
LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE
UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48
HOURS PRIOR TO ANY EXCAVATION.

UTILITY CONFLICT NOTE:
CAUTION:
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES
WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL
LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF
THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS
EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION
AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT
ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

REVISIONS	
1.	REV. PER CITY COMMENTS 8/2/2022
2.	REV. PER CITY COMMENTS 9/15/2022
3.	REV. PER CITY COMMENTS 1/23/2023
4.	REV. PER CITY COMMENTS 5/16/2023



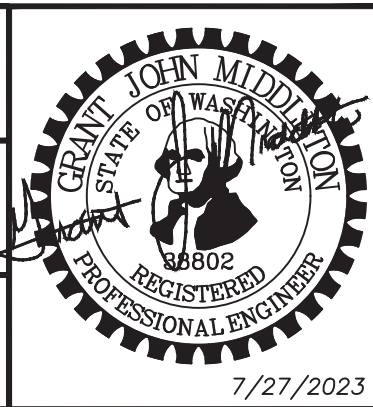
LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

**SUMMIT POINTE
CONCEPTUAL
PLAN**

UTIL 3	PERMIT NO. PL-PLATT-21-002
COMPOSITE UTILITY 3	DRAWING NO. 9700
	SHEET OF 24 33



SUMMIT POINTE
SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON
COMPOSITE UTILITY

Summit Pointe Preliminary Plat
PL-PPLAT-21-0002 et al
Hearing Examiner 11.07.2023
Exhibit B

VERTICAL DATUM
(WSRN)

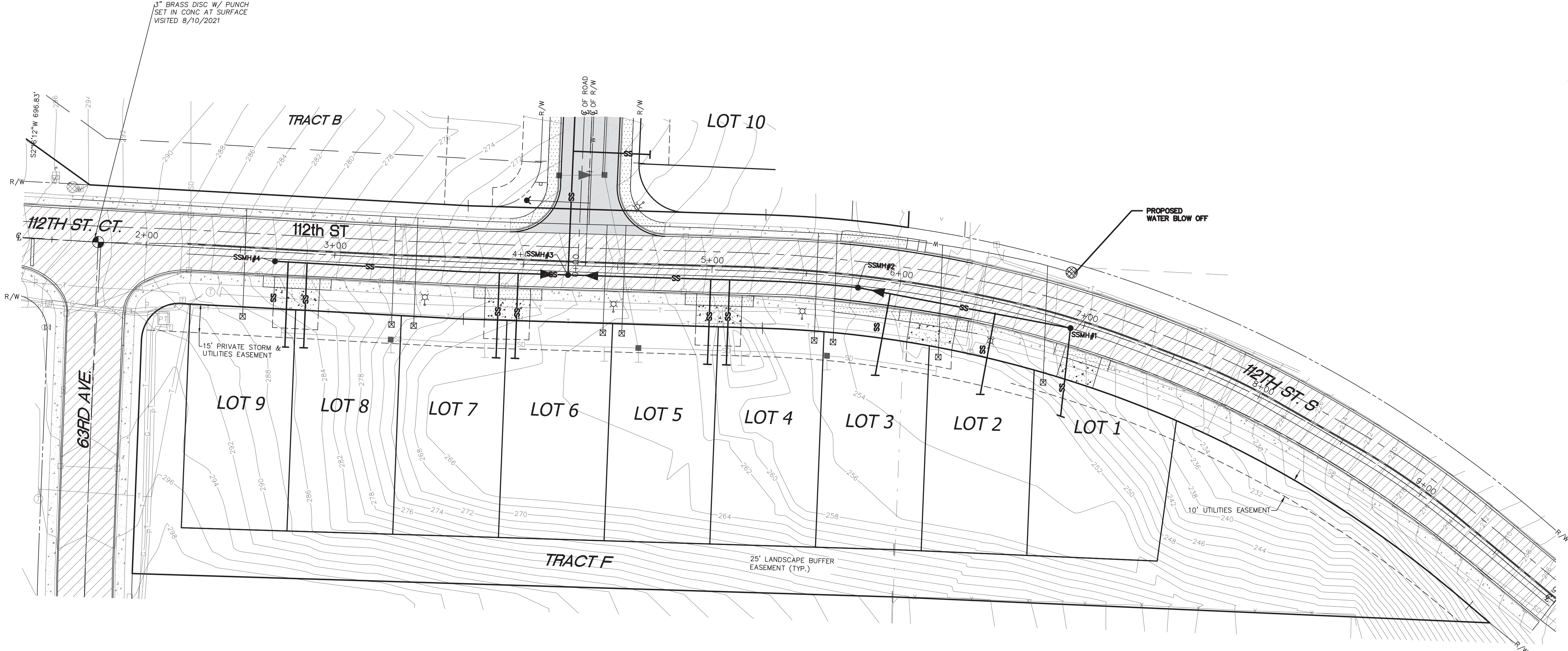
NAVD 88 ESTABLISHED USING GPS RTK ROVER
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK (WSRN) STATIONS
CITY OF GIG HARBOR B.M.#64 3" BRASS DISC W/ PUNCH SET IN
CONC AT SURFACE VISITED 8/10/2021
ON 112TH ST & 63RD AVE
ELEV. 292.69

CONTOUR INTERVAL=2'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE
WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED BUILDING SETBACK LINES
- EASEMENT
- RIGHT OF WAY LINE
- PROPOSED EDGE OF PAVEMENT
- PROPERTY ADJOINER LINE
- EXISTING INTERNAL PROPERTY LINE
- RIGHT OF WAY CENTERLINE
- ROAD CENTERLINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING WIRE FENCE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN PIPE
- EXISTING TELEPHONE LINE
- EXISTING POWER LINE
- EXISTING GAS PIPE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING POWER TRANSFORMER
- EXISTING JUNCTION BOX
- EXISTING POWER METER
- EXISTING POWER VAULT
- EXISTING CATCH BASIN
- EXISTING WATER METER
- EXISTING IRRIGATION BOX
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING WATER BLOWOFF
- EXISTING HOSE BIB
- EXISTING TELEPHONE VAULT
- EXISTING TELEPHONE RISER
- SOIL STOCKPILE AREA (APPROX.)
- EXISTING BOLLARD
- EXISTING RIP RAP
- EXISTING CONCRETE SIDEWALK
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- PROPOSED DRIVEWAY APPROACH
- PROPOSED SIDEWALK
- PROPOSED ON-STREET PARKING LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM DRAIN PIPE
- PROPOSED CATCH BASIN
- PROPOSED WATER PIPE
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT



UTILITY CONFLICT NOTE:
CAUTION:
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS	
1.	REV. PER CITY COMMENTS 8/2/2022
2.	REV. PER CITY COMMENTS 9/15/2022
3.	REV. PER CITY COMMENTS 1/23/2023
4.	REV. PER CITY COMMENTS 5/16/2023

LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	—
SCALE:	AS SHOWN
OTHER:	—

SUMMIT POINTE
CONCEPTUAL
PLAN

UTIL 4	PERMIT NO. PL-PPLATT-21-0002
COMPOSITE UTILITY 4	DRAWING NO. 9700
	SHEET OF 25 33

PERMIT NO. PL-PPLATT-21-0002
DRAWING NO. 9700
SHEET OF 25 33



PRELIMINARY

7/27/2023

SUMMIT POINTE

SE 1/4, SW 1/4, SEC. 25, TWN. 22 N, RNG 1 E, W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON

Summit Pointe Preliminary Plat

Hearing Examiner 11.07.2023

Exhibit B



P/N 0122258006

P/N 3000850890

EXISTING 15' SEWER EASEMENT
PER AFN 200310200154 &
202306090257

EX. SSMH TYPE 2
RIM EL=243.61
IE(N)8"PVC=223.60
IE(S)8"PVC=223.59
LADDER=WEST

X. SEWER MAIN
54LF~8"PVC @ 0.52%

SSMH#5 TYPE 1(48")
RIM=250.76 (FIELD ADJUST)
I.E.=222.70(N 8"PVC)
I.E.=223.80(W 8"PVC)
I.E.=222.70(S 8"PVC)

EX. SEWER MAIN
246LF~8"PVC @ 0.52%

EX. SSMH #22
RIM EL=234.00 (PROPOSED)
IE(N)8"PVC=221.26
IE(SE)8"SDR=221.16

EX. SEWER MAIN
100LF~8"SDR3034 @ 14.84%

P/N 0122254101

CONTINUED ON THIS SHEET

REVISIONS

1. REV. PER CITY COMMENTS 8/2/2022
2. REV. PER CITY COMMENTS 9/15/2022
3. REV. PER CITY COMMENTS 1/23/2023
4. REV. PER CITY COMMENTS 5/16/2023



LARSON and ASSOCIATES
surveyors, engineers & planners

9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA. 98444 (253) 474-3404

DESIGNED BY:	JC
DRAWN BY:	PB
CHECKED BY:	JC
APPROVED BY:	--
SCALE:	AS SHOWN
OTHER:	

SUMMIT POINTE CONCEPTUAL PLAN

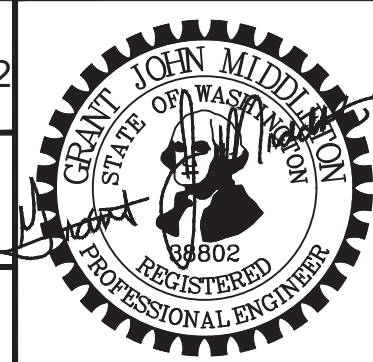
OSE

EXISTING OFFSITE
SEWER EXTENSION

PERMIT NO.

DRAWING NO.

SHEET OF
26 33



7/27/2023

GENERAL NOTES

1.

ALL WORKMANSHIP, MATERIALS AND TESTING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, NATIONAL ELECTRICAL CODE OR CITY OF GIG HARBOR PUBLIC WORKS STANDARDS UNLESS OTHERWISE SPECIFIED BELOW. IN CASES OF CONFLICT, THE MOST STRINGENT STANDARDS SHALL APPLY. WHEN THE MOST STRINGENT STANDARD IS NOT CLEAR, THE CITY ENGINEER WILL MAKE THE DETERMINATION. THE ELECTRICAL CONTRACTOR SHALL BE FAMILIAR WITH ALL THE ABOVE STATED PUBLICATIONS AND GUIDELINES AS THEY WILL BE STRICTLY ENFORCED BY THE STATE OF WASHINGTON DEPARTMENT OF LABOR AND INDUSTRIES.
2.

THE CONTRACTOR SHALL BE IN COMPLIANCE WITH ALL SAFETY STANDARDS AND REQUIREMENTS AS SET FORTH BY OSHA, WISHA AND THE STATE OF WASHINGTON DEPARTMENT OF LABOR AND INDUSTRIES.
3.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH WSDOT STANDARD PLANS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION AND/OR THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). PRIOR TO DISRUPTION OF ANY TRAFFIC, A TRAFFIC CONTROL PLAN SHALL BE PREPARED AND SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL. NO WORK SHALL COMMENCE UNTIL ALL APPROVED TRAFFIC CONTROL IS IN PLACE.
4.

ALL APPROVALS AND PERMITS REQUIRED BY THE CITY OF GIG HARBOR SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
5.

IF CONSTRUCTION IS TO TAKE PLACE IN THE COUNTY AND/OR WASHINGTON STATE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY, THE CONTRACTOR SHALL NOTIFY THE CITY. THE CITY SHALL OBTAIN ALL THE REQUIRED APPROVALS AND PERMITS. THE CONTRACTOR SHALL REIMBURSE THE CITY FOR ASSOCIATED PERMIT FEES.
6.

ELECTRICAL PERMITS AND INSPECTIONS ARE REQUIRED FOR ALL ROADWAY LIGHTING INSTALLATIONS WITHIN THE CITY OF GIG HARBOR. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING SAID PERMITS PRIOR TO ANY TYPE OF ACTUAL CONSTRUCTION. THESE PERMITS ARE AVAILABLE FROM THE WASHINGTON STATE DEPARTMENT OF LABOR AND INDUSTRIES. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTION FEES ASSOCIATED WITH THE ELECTRICAL SYSTEMS AND SHOULD CONTACT PENINSULA LIGHT CO. AT (253) 857-1541 FOR CONNECTION REQUIREMENTS AND FEE AMOUNTS.
7.

A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE CITY OF GIG HARBOR CONSTRUCTION INSPECTOR PRIOR TO THE START OF CONSTRUCTION.
8.

PRIOR TO INSTALLATION OF ANY MATERIALS, THE ELECTRICAL CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE CITY THREE COPIES OF MATERIAL CATALOG CUTS, SPECIFICATIONS, SHOP DRAWINGS AND OR WIRING DIAGRAMS. ANY MATERIALS PURCHASED OR LABOR PERFORMED PRIOR TO SUCH APPROVAL SHALL BE AT THE CONTRACTOR'S RISK. MOUNTING HEIGHTS, ARM LENGTH, POWER SOURCE, LUMINAIRE TYPE AND BOLT PATTERN SHALL FOLLOW CITY OF GIG HARBOR PUBLIC WORKS STANDARDS, SECTION 2F.020. MODIFICATIONS OF ANY PORTION OF THE LIGHTING SYSTEM WILL NOT BE ALLOWED WITHOUT PRIOR APPROVAL BY THE CITY.
9.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE A COPY OF AN APPROVED SET OF PLANS ON THE CONSTRUCTION SITE AT ALL TIMES.
10.

ALL SURVEYING AND STAKING SHALL BE PERFORMED PER THE CORRESPONDING SECTION OF THE CITY OF GIG HARBOR PUBLIC WORKS STANDARDS.
11.

TEMPORARY EROSION/CONTROL WATER POLLUTION MEASURES SHALL BE REQUIRED IN ACCORDANCE WITH SECTION 1-07.15 OF THE WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION AND THE GIG HARBOR STORMWATER MANAGEMENT AND SITE DEVELOPMENT MANUAL. AT NO TIME WILL SILTS AND DEBRIS BE ALLOWED TO DRAIN INTO AN EXISTING OR NEWLY INSTALLED FACILITY UNLESS SPECIAL PROVISIONS HAVE BEEN DESIGNED.
12.

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR MAINTAINING ALL LOCATE MARKS ONCE THE UTILITIES HAVE BEEN LOCATED.
13.

A 500 VOLT MEGGER TEST WILL BE PERFORMED BY THE CONTRACTOR ON EACH CIRCUIT BETWEEN CONDUCTOR AND GROUND PRIOR TO ACCEPTANCE OF THE LIGHTING SYSTEM. THE INSULATION RESISTANCE SHALL NOT BE LESS THAN 6 MEGA OHMS TO GROUND FOR RUNS OVER 2,500 FT. NOR LESS THAN 8 MEGA OHMS FOR RUNS UNDER 2,500 FT. A FUNCTIONAL TEST WILL BE PERFORMED BY THE CITY IN WHICH IT IS DEMONSTRATED THAT EACH AND EVERY PART OF THE SYSTEM FUNCTIONS AS SPECIFIED OR INTENDED HEREIN. WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION 8-20.3(11). LAMP, PHOTOCCELL AND FIXTURE SHALL BE UNDER WARRANTY FOR A PERIOD OF TWO YEARS.
14.

ALL LIGHTING POLES SHALL BE AS SPECIFIED IN SECTION 2F.020 OF THE GIG HARBOR PUBLIC WORKS STANDARDS. THE SONOTUBE FORM SHALL BE REMOVED TO BELOW GROUND LEVEL. POLE BASES SHALL BE GROUTED AND ALL LUMINAIRE HEADS SHALL BE PLUM AND LEVEL.
15.

CEMENT CONCRETE BASES SHALL FOLLOW CITY OF GIG HARBOR PUBLIC WORKS STANDARDS DETAIL 2-28, DECORATIVE LUMINAIRE BASE. THE DEPTH AND SIZE OF ALL CONCRETE STREET LIGHT FOUNDATIONS SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER BASED ON SOIL CONDITIONS, POLE HEIGHT, WIND LOAD, ETC. DESIGN CRITERIA AND CALCULATIONS SHALL BE SUBMITTED TO THE CITY WITH ILLUMINATION PLAN SUBMITTAL.
16.

THE PHOTO CELL WINDOW SHALL FACE NORTH UNLESS OTHERWISE DIRECTED BY THE CITY. THE SERVICE DISCONNECT SHALL NOT BE MOUNTED ON THE LUMINAIRE POLE. THE SERVICE DISCONNECT SHALL BE MANUFACTURED BY SKYLINE ELECTRIC AND MGF. COMPANY, SEE DETAIL 2-23.
17.

ALL LIGHTING WIRES SHOULD BE COPPER WITH A MINIMUM SIZE OF #8. ALL WIRES SHALL BE SUITABLE FOR WET LOCATIONS. ALL WIRES SHALL BE INSTALLED IN SCHEDULE 40 PVC CONDUIT WITH A MINIMUM DIAMETER OF 2 INCHES. A BUSHING OR BELL-END SHALL BE USED AT THE END OF A CONDUIT THAT TERMINATES AT A JUNCTION BOX OR LUMINAIRE POLE. CONDUCTOR IDENTIFICATION SHALL BE AN INTEGRAL PART OF THE INSULATION OF THE CONDUCTORS THROUGHOUT THE SYSTEM I.E., COLOR CODED WIRE. EQUIPMENT GROUNDING CONDUCTORS SHALL BE #8 COPPER. ALL SPLICES OR TAPS SHALL BE MADE BY APPROVED METHODS UTILIZING EPOXY KITS RATED AT 600 VOLTS (I.E., 3-M 82-A2). ALL SPLICES SHALL BE MADE WITH PRESSURE TYPE CONNECTORS (WIRE NUTS WILL NOT BE ALLOWED). DIRECT BURIAL WIRE WILL NOT BE ALLOWED. ALL OTHER INSTALLATION SHALL CONFORM TO NEC, WSDOT AND MUTCD STANDARDS.
18.

EACH LUMINAIRE POLE SHALL HAVE AN IN-LINE, FUSED, WATERTIGHT ELECTRICAL DISCONNECT LOCATED AT THE BASE OF THE POLE. ACCESS TO THESE FUSED DISCONNECTS SHALL BE THROUGH THE HAND-HOLE ON THE POLE. THE HAND-HOLE SHALL BE FACING AWAY FROM ONCOMING TRAFFIC. ADDITIONAL CONDUCTOR LENGTH SHALL BE LEFT INSIDE THE POLE AND PULL OR JUNCTION BOX EQUAL TO A LOOP HAVING A DIAMETER OF ONE FOOT. LOAD SIDE OF IN-LINE FUSE TO LUMINARE HEAD SHALL BE CABLE POLE AND BRACKET WIRE, 2 CONDUCTOR, 19 STRAND COPPER #10 AND SHALL BE SUPPORTED AT THE END OF THE LUMINAIRE ARM BY AN APPROVED MEANS. FUSE SIZE, DISCONNECT INSTALLATION AND GROUNDING IN POLE SHALL CONFORM TO NEC STANDARDS.
19.

APPROVED POLE BOXES OR JUNCTION BOXES SHALL BE INSTALLED WHEN CONDUIT RUNS ARE MORE THAN 200 FEET. IN ADDITION, A PULL BOX OR JUNCTION BOX SHALL BE LOCATED WITHIN 10 FEET OF EACH LUMINAIRE POLE AND AT EVERY ROAD CROSSING. BOXES SHALL BE CLEARLY AND INDELIBLY MARKED AS LIGHTING BOXES BY THE LEGEND, "LT" OR "LIGHTING". SEE WSDOT STANDARD PLAN J-40.10-04. AT THE END OF THE PROJECT FOLLOWING FINAL ACCEPTANCE FROM CITY INSPECTOR, ALL JUNCTION BOXES SHALL BE "TACK" WELDED CLOSED. TACK WELDS ARE TO PREVENT WIRE THEFT AND SHALL BE TWO 1" LONG WELDS ON OPPOSITE SIDES OF LID. WELDS WILL THEN BE TREATED WITH COLD GALVANIZING SPRAY.
20.

ANY MODIFICATION TO APPROVED LIGHTING PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY PRIOR TO INSTALLATION. ANY APPROVED MODIFICATION SHALL BE SHOWN ON THE RECORD DRAWINGS SUPPLIED TO THE CITY AFTER THE LIGHTING INSTALLATION IS COMPLETED AND BEFORE FINAL ACCEPTANCE. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE THESE RECORD DRAWINGS ARE PROVIDED TO THE CITY.

LEGEND

- LIGHT STANDARD AND LUMINAIRE, 2-28, 2-30, 2-31, 2-35 (MOD.), 2-36
- TYPE 1 JUNCTION BOX, J-40.10-04
- TYPE 2 JUNCTION BOX, J-40.10-04
- CONDUIT
- ELECTRICAL SERVICE CABINET, 2-23
- CONSTRUCTION NOTE
- WIRE NOTE

CONSTRUCTION NOTES

- 1

CONSTRUCT FOUNDATION/BORDER AND INSTALL 20' LIGHT STANDARD, LUMINAIRE, JUNCTION BOX, CONDUIT AND CONDUCTORS. USE CITY OF GIG HARBOR STANDARD DETAILS 2-28, 2-30, 2-35 (MODIFIED), WSDOT STANDARD PLAN J-28.30-03 (EXCEPT ANCHOR BOLTS AND BOLT CIRCLE SHALL MATCH POLE MANUFACTURER RECOMMENDATION), AND LUMINAIRE SCHEDULE.
- 2

CONSTRUCT FOUNDATION/BORDER AND INSTALL 30' LIGHT STANDARD, LUMINAIRE, JUNCTION BOX, CONDUIT AND CONDUCTORS. USE CITY OF GIG HARBOR STANDARD DETAILS 2-28, 2-31, 2-36 (MODIFIED), WSDOT STANDARD PLAN J-28.30-03 (EXCEPT ANCHOR BOLTS AND BOLT CIRCLE SHALL MATCH POLE MANUFACTURER RECOMMENDATION), AND LUMINAIRE SCHEDULE.
- 3

CONSTRUCT FOUNDATION AND INSTALL 120/240 SINGLE PHASE ELECTRICAL SERVICE CABINET. USE CITY OF GIG HARBOR STANDARD DETAIL 2-23 AND WSDOT STANDARD PLAN J-10.10-04, SINGLE PAD MOUNT SIZED FOR CABINET.
- 4

COORDINATE WITH SERVING UTILITY COMPANY FOR POINT OF ELECTRICAL SERVICE. ROUTE SERVICE ENTRANCE CONDUIT AND CONDUCTORS TO POINT OF SERVICE PER WIRING SCHEDULE AND UTILITY COMPANY REQUIREMENTS. COORDINATE WITH UTILITY COMPANY FOR SERVICE CONNECTION.

WIRING SCHEDULE

CONDUIT RUN	CONDUIT SIZE/TYPE	CONDUCTORS				REMARKS
		POWER	ILLUM	PHOTO CELL	GROUND	
		#2	#8	#14	#8	
1	2" SCHEDULE 40 PVC		2		1	
2	2" SCHEDULE 40 PVC		2	3	1	
3	2" SCHEDULE 40 PVC				1	SPARE, INSTALL PULL CORD
4	2" SCHEDULE 80 PVC	3			1	SERVICE

LED LUMINAIRE SCHEDULE

CITY OF GIG HARBOR SERVICE							120/240V SINGLE PHASE			
LUMINAIRE NUMBER	CIRCUIT	LOCATION		LUMEC LUMINAIRE MODEL NO.			MAST ARM	H1	BASE TYPE	FOUNDATION TYPE
1	A	A 1+46.98	28.21' RT	[TR20-009]-135W80LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	30'	FIXED	A
2	A	A 2+59.42	25.50' LT	TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	20'	FIXED	A
3	A	A 3+94.00	25.50' LT	[TR20-009]-135W80LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	30'	FIXED	A
4	A	A 5+16.14	25.50' LT	TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	20'	FIXED	A
5	A	A 6+37.68	26.50' LT	TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	20'	FIXED	A
6	A	A 7+66.74	25.50' LT	TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	20'	FIXED	A
7	A	B 1+05.27	23.50' LT	TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	20'	FIXED	A
8*	A	B 2+35.03	23.50' RT	TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	20'	FIXED	A
9	A	B 3+30.69	33.02' LT	[TR20-009]-135W80LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	30'	FIXED	A
10	A	B 4+22.47	23.50' RT	TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	20'	FIXED	A
11	A	B 5+34.32	23.50' RT	TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	20'	FIXED	A
12	A	B 6+46.02	23.50' LT	TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	20'	FIXED	A
13	A	B 7+72.24	23.50' LT	TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	20'	FIXED	A
14	A	B 9+00.00	23.50' LT	TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	20'	FIXED	A
15	A	B 10+01.10	23.50' RT	TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	20'	FIXED	A
16	A	B 11+07.23	23.50' LT	TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	20'	FIXED	A
17	A	B 12+13.83	23.50' RT	TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	20'	FIXED	A
18	A	B 13+24.31	23.50' LT	TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	20'	FIXED	A
19	A	B 14+52.18	23.50' RT	TR20-80W48LED4K-G3-LE3F-120-277-DMG-GN6TX			2'	20'	FIXED	A

* INSTALL PHOTOCCELL ON LUMINAIRE.

					FOR:		HERMAN TRAFFIC ENGINEERING, INC. 11215 Southeast 220th Place, Kent, Washington 98031 253-236-4941 tel. hte@comcast.net	CITY OF GIG HARBOR	WASHINGTON	IL1	
DRAWN RMH					RUSH RESIDENTIAL, INC. 6622 Wollochet Drive Gig Harbor, WA 98335			SUMMIT POINTE			
DESIGNED RMH											SHEET 1 OF 7 SHEETS
CHECKED 3/6/23 RMH											
PROJ. ENGR.											
DRAWING FILE IL_rev1.DWG								ILLUMINATION LEGEND, NOTES & SCHEDULES			
	DATE		REVISION		BY	APP'D					



DRAWN	RMH				
DESIGNED	RMH				
CHECKED	3/6/23 RMH				
PROJ. ENGR.					
DRAWING FILE	IL_rev1.DWG				
DATE	REVISION	BY	APP'D		

FOR:

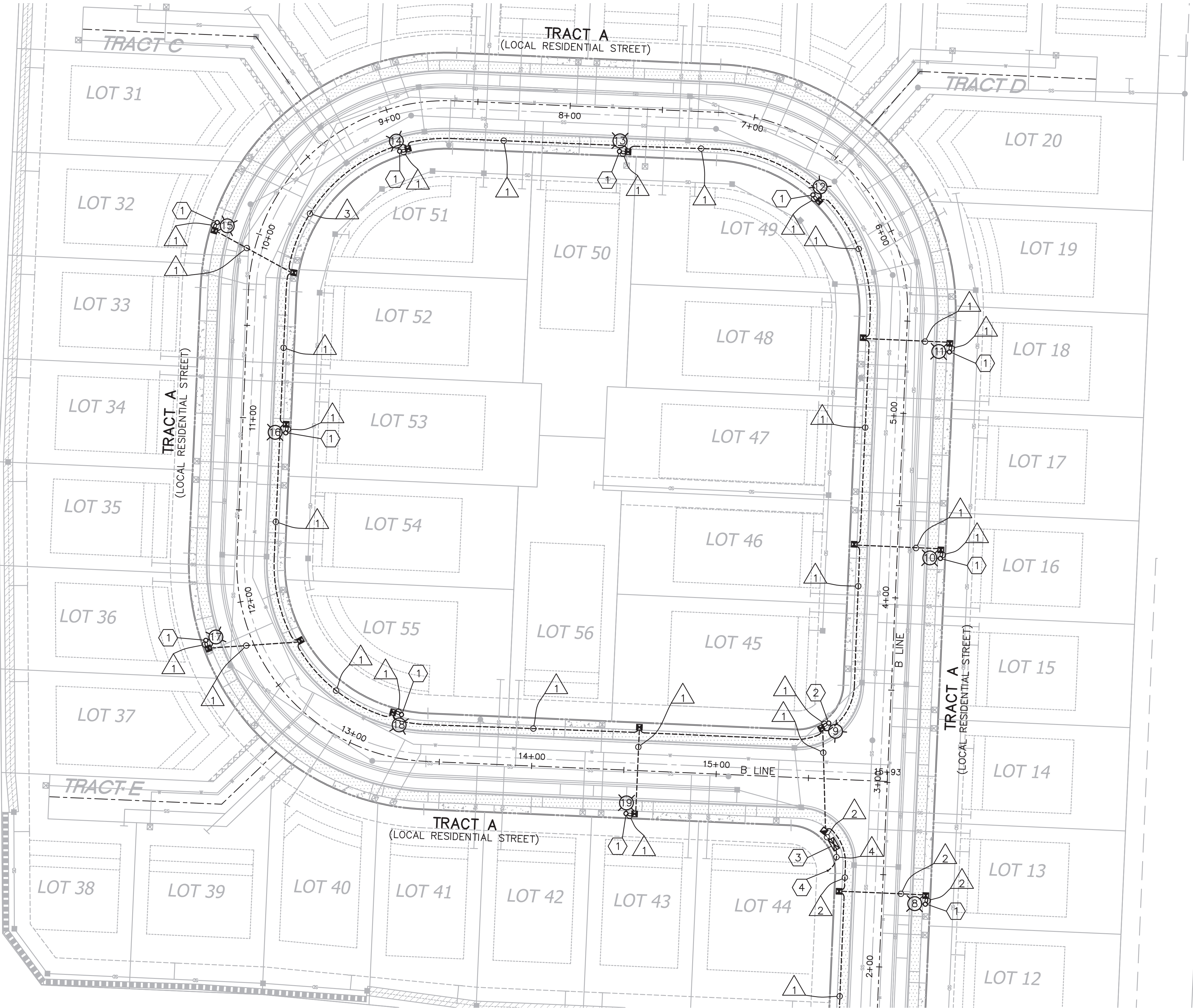
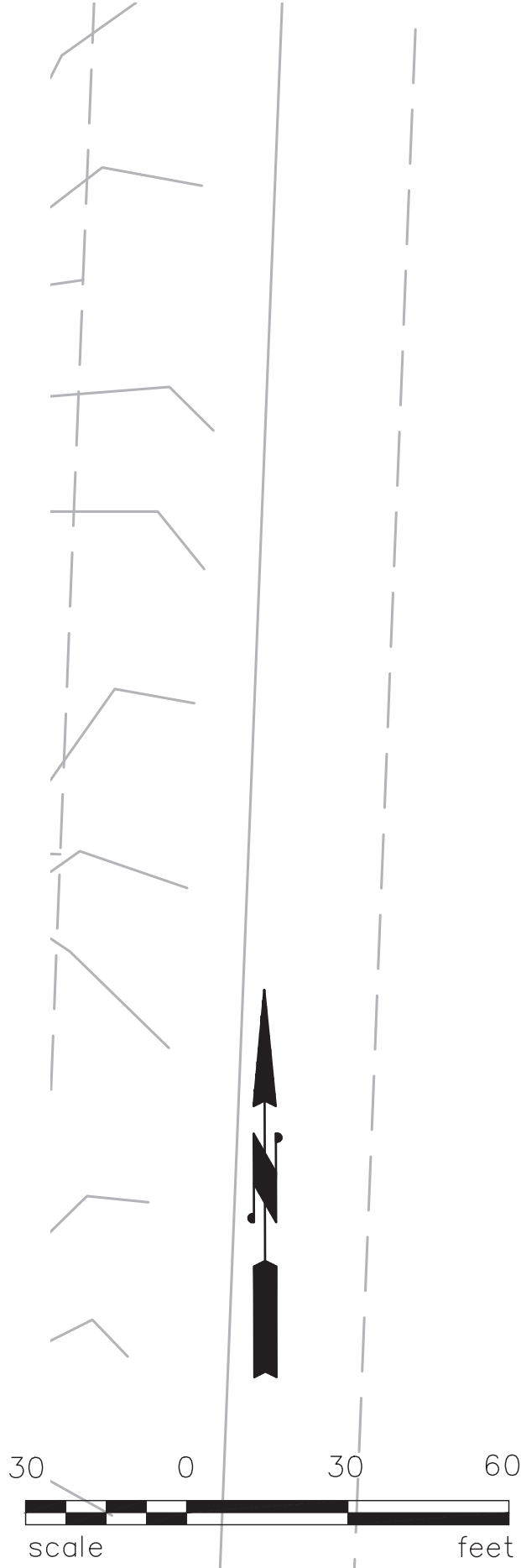
RUSH RESIDENTIAL, INC.
6622 Wollochet Drive
Gig Harbor, WA 98335



HTE HERMAN TRAFFIC ENGINEERING, INC.

11215 Southeast 220th Place, Kent, Washington 98031
253-236-4941 tel. hte@comcast.net

CITY OF GIG HARBOR	WASHINGTON
SUMMIT POINTE	
ILLUMINATION PLAN	



DRAWN	RMH				
DESIGNED	RMH				
CHECKED	3/6/23 RMH				
PROJ. ENGR.					
DRAWING FILE	IL_rev1.DWG				
	DATE	REVISION	BY	APP'D	

FOR:

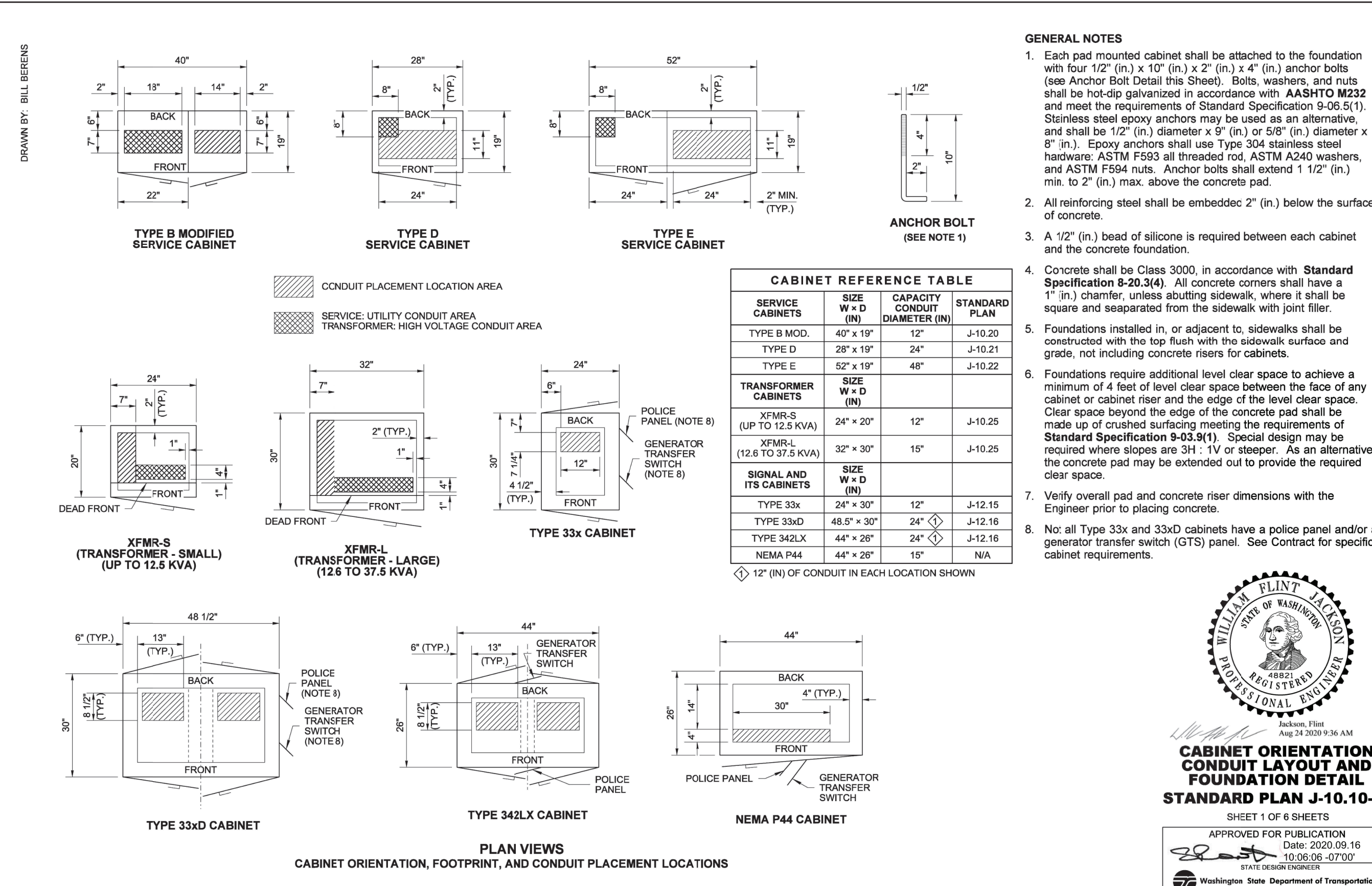
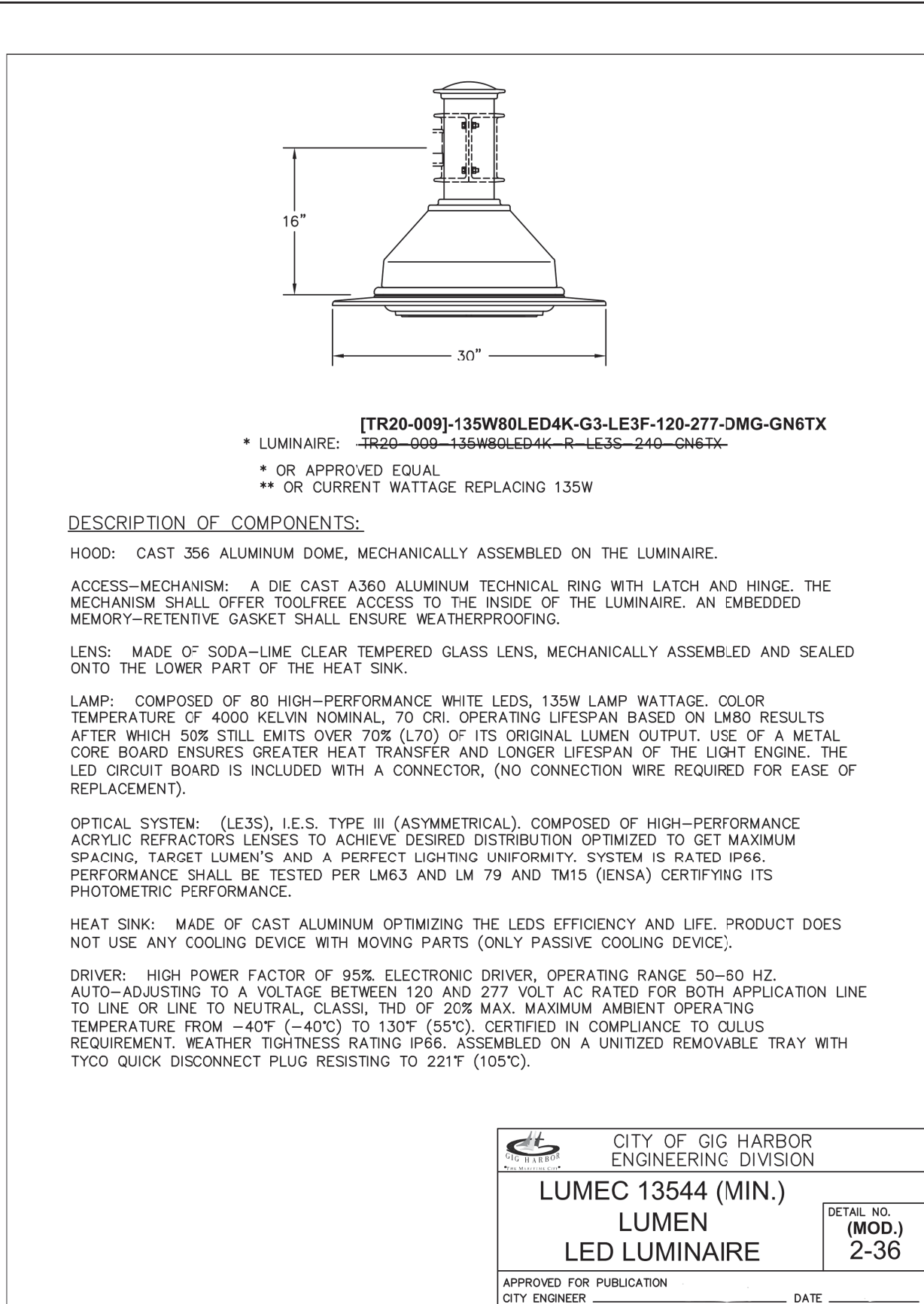
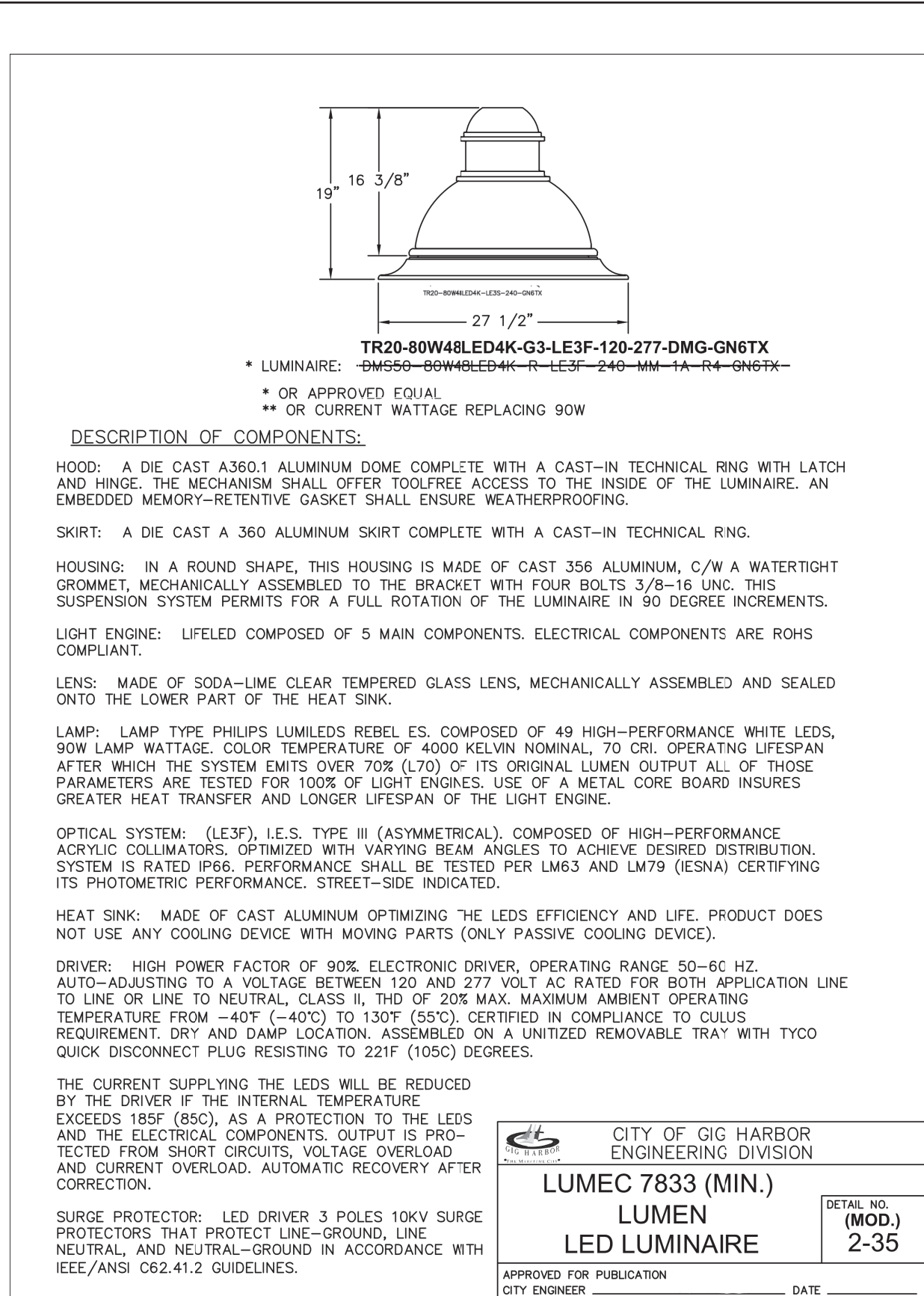
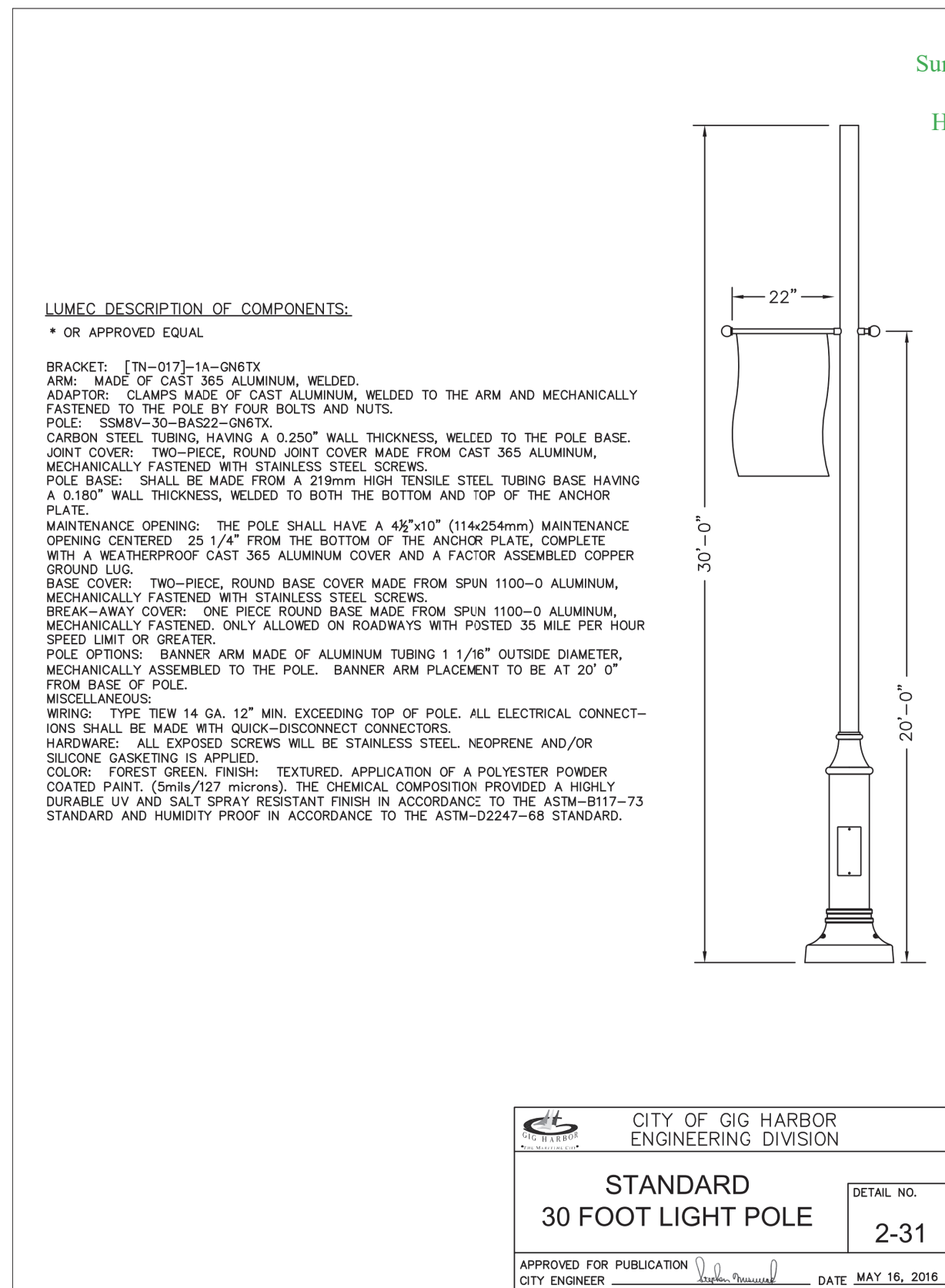
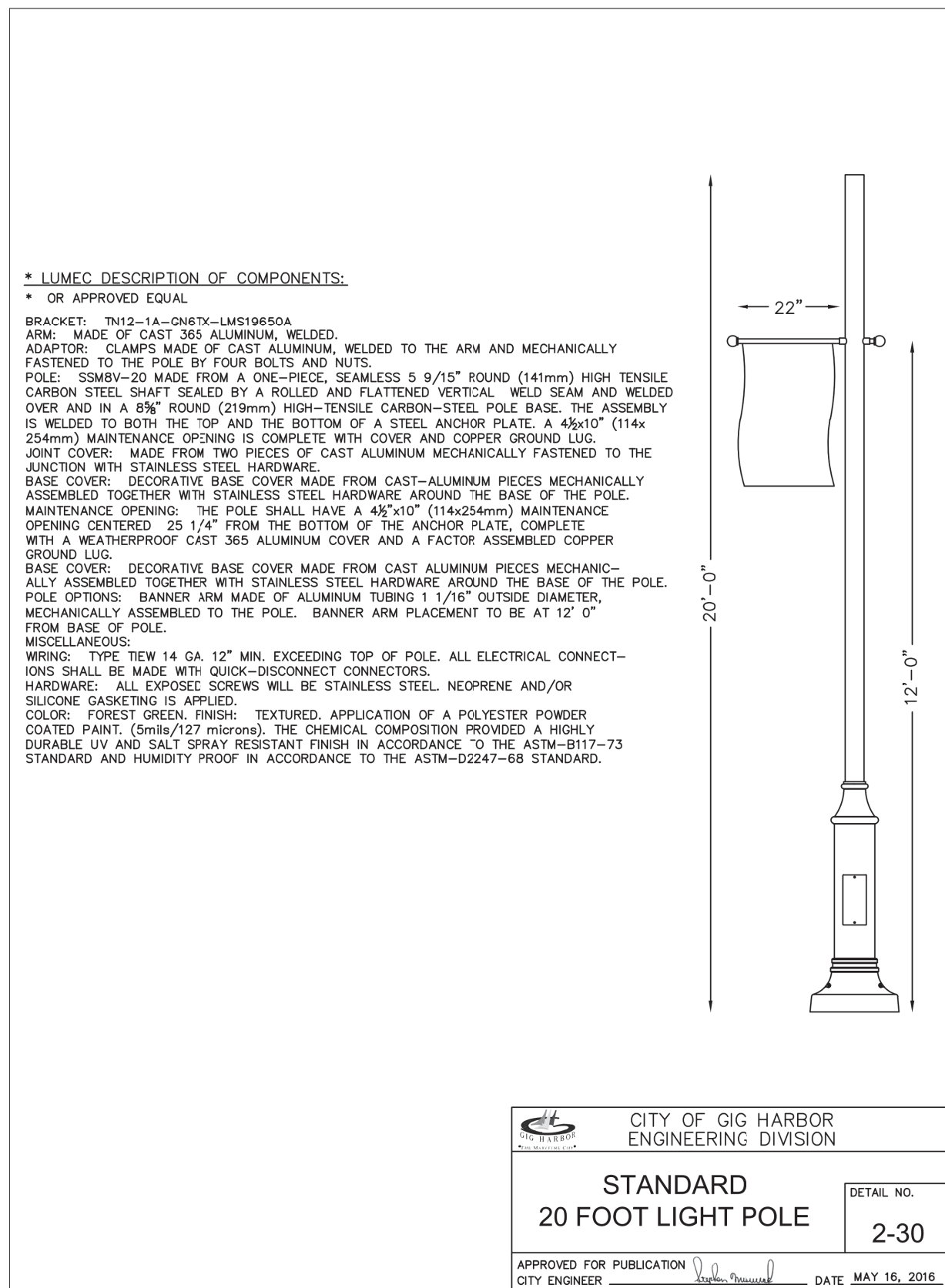
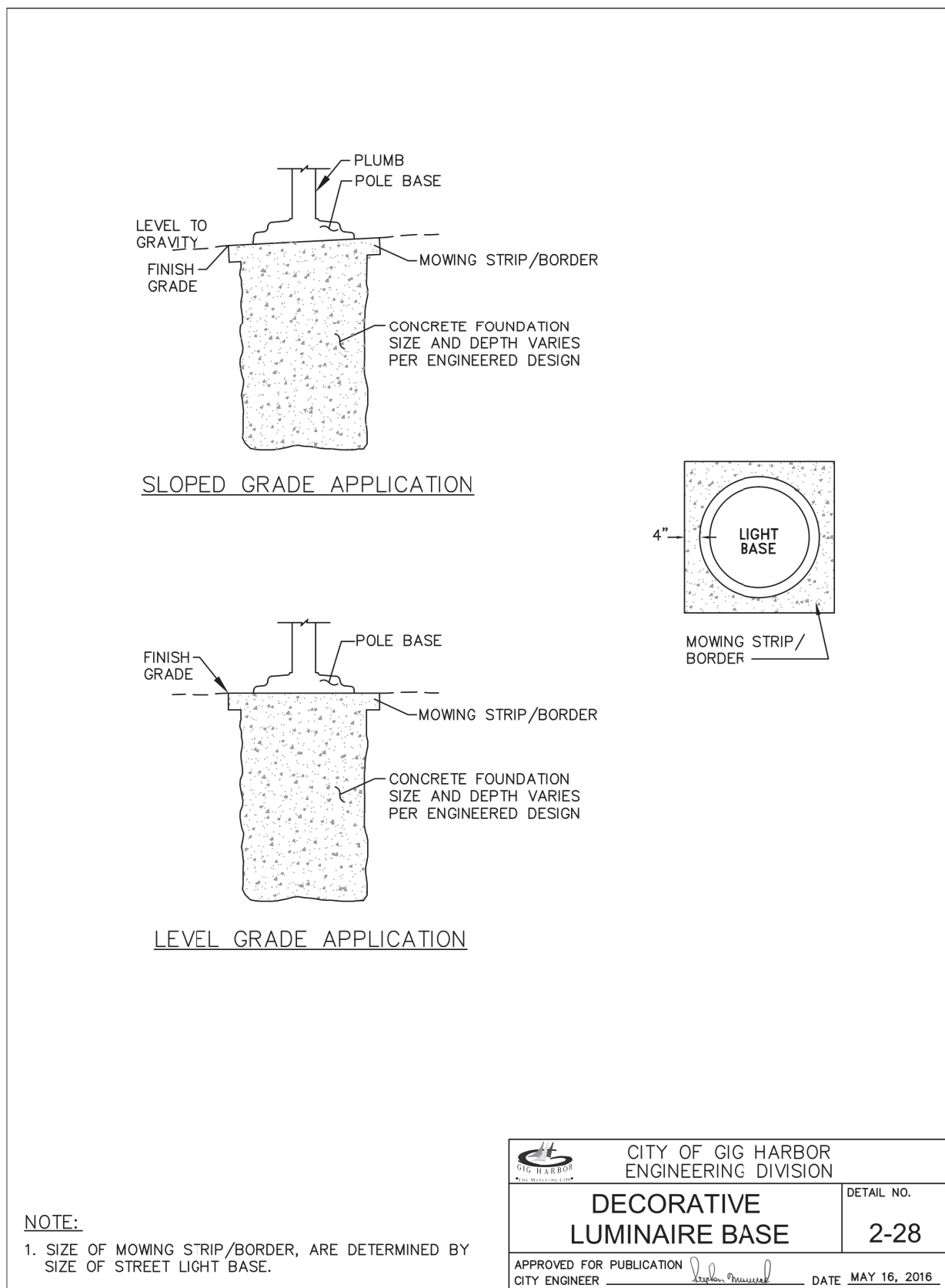
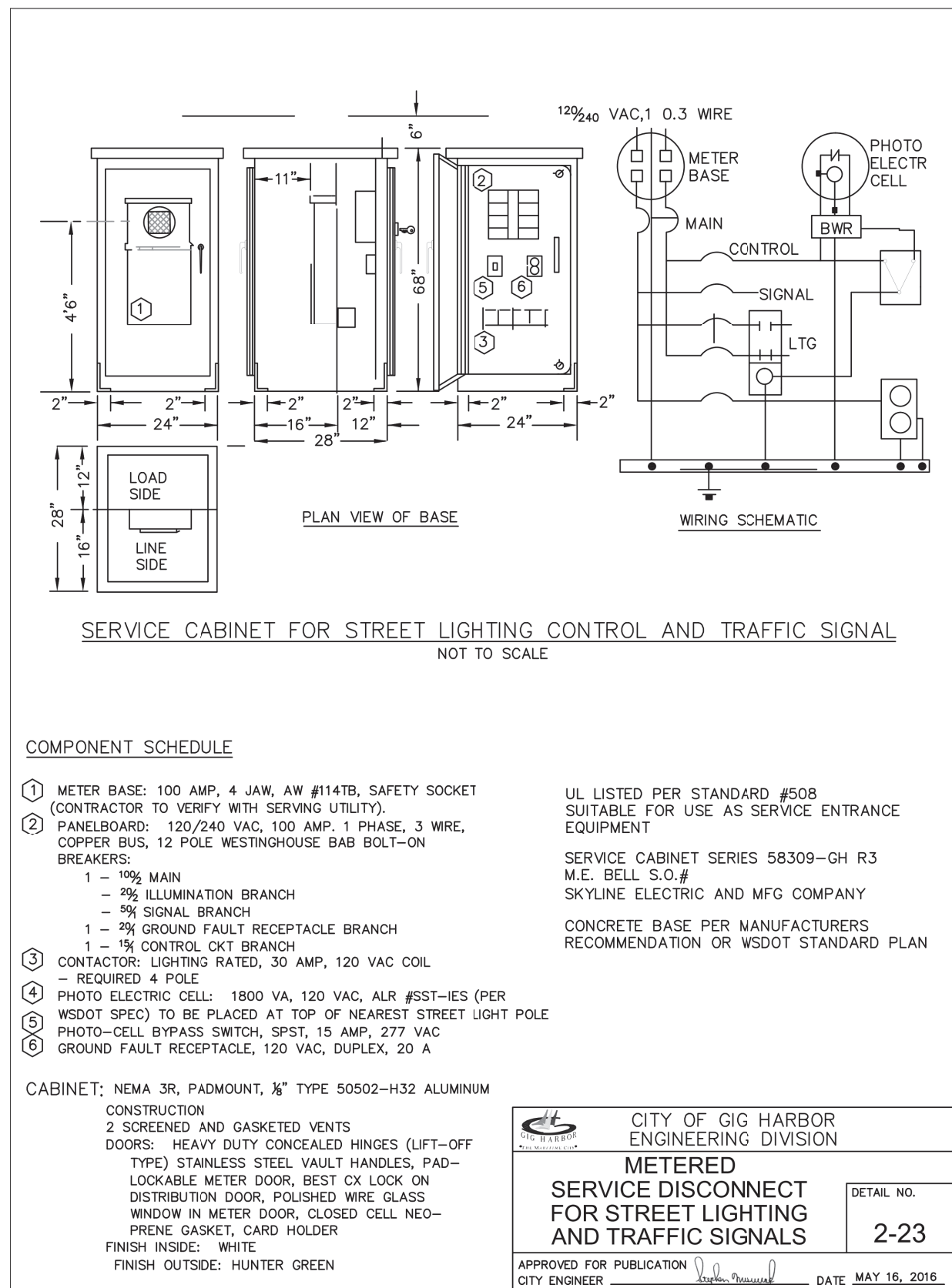
RUSH RESIDENTIAL, INC.
6622 Wollochet Drive
Gig Harbor, WA 98335



HTE
HERMAN TRAFFIC ENGINEERING, INC.

11215 Southeast 220th Place, Kent, Washington 98031
253-236-4941 tel. hte@comcast.net

CITY OF GIG HARBOR	WASHINGTON	IL3
SUMMIT POINTE		SHEET 3 OF 7 SHEETS
ILLUMINATION PLAN		



DRAWN	RMH				
DESIGNED	RMH				
CHECKED	3/6/23 RMH				
PROJ. ENGR.					
DRAWING FILE	IL_rev1.DWG				
DATE	REVISION	BY	APP'D		

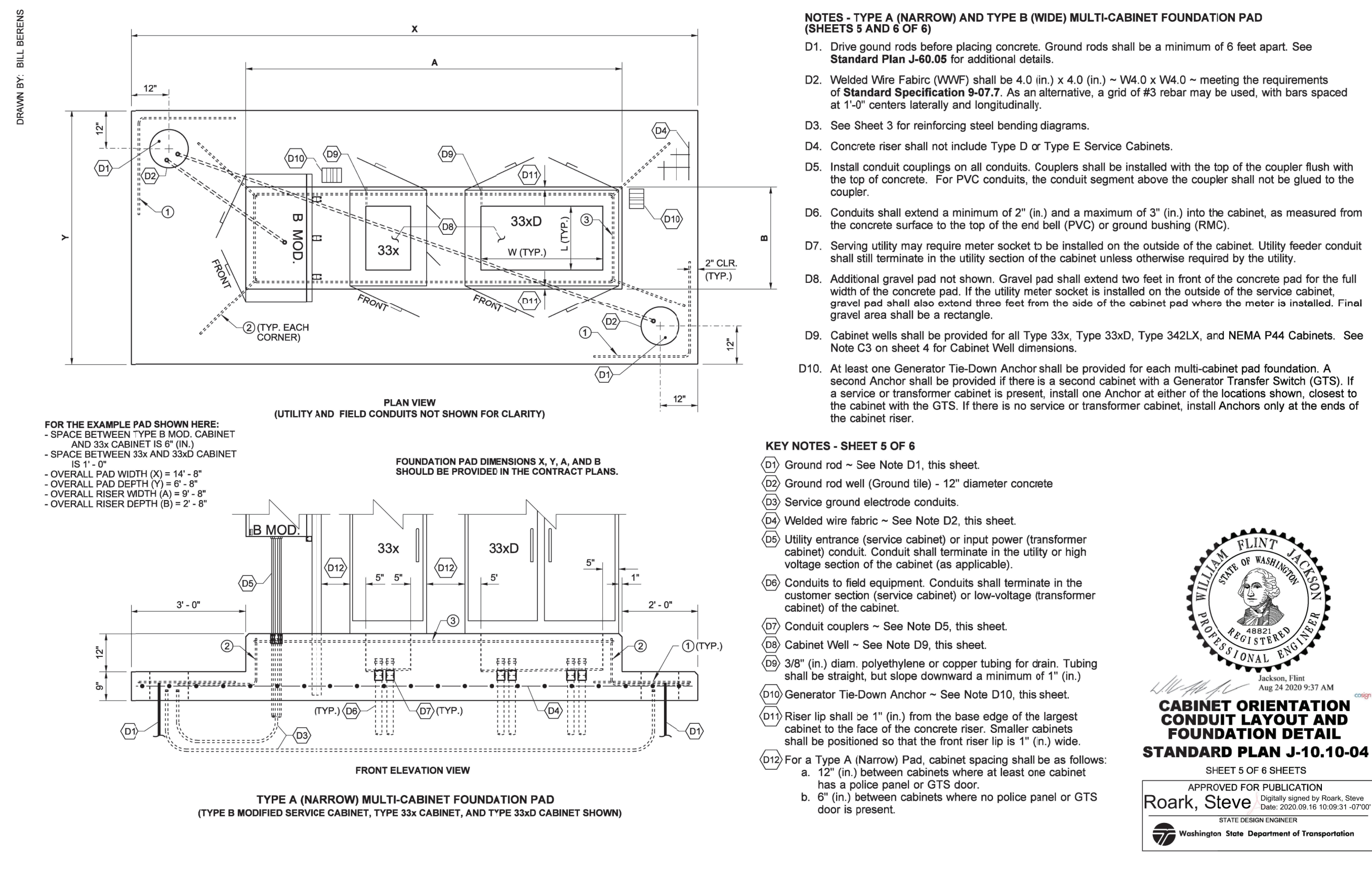
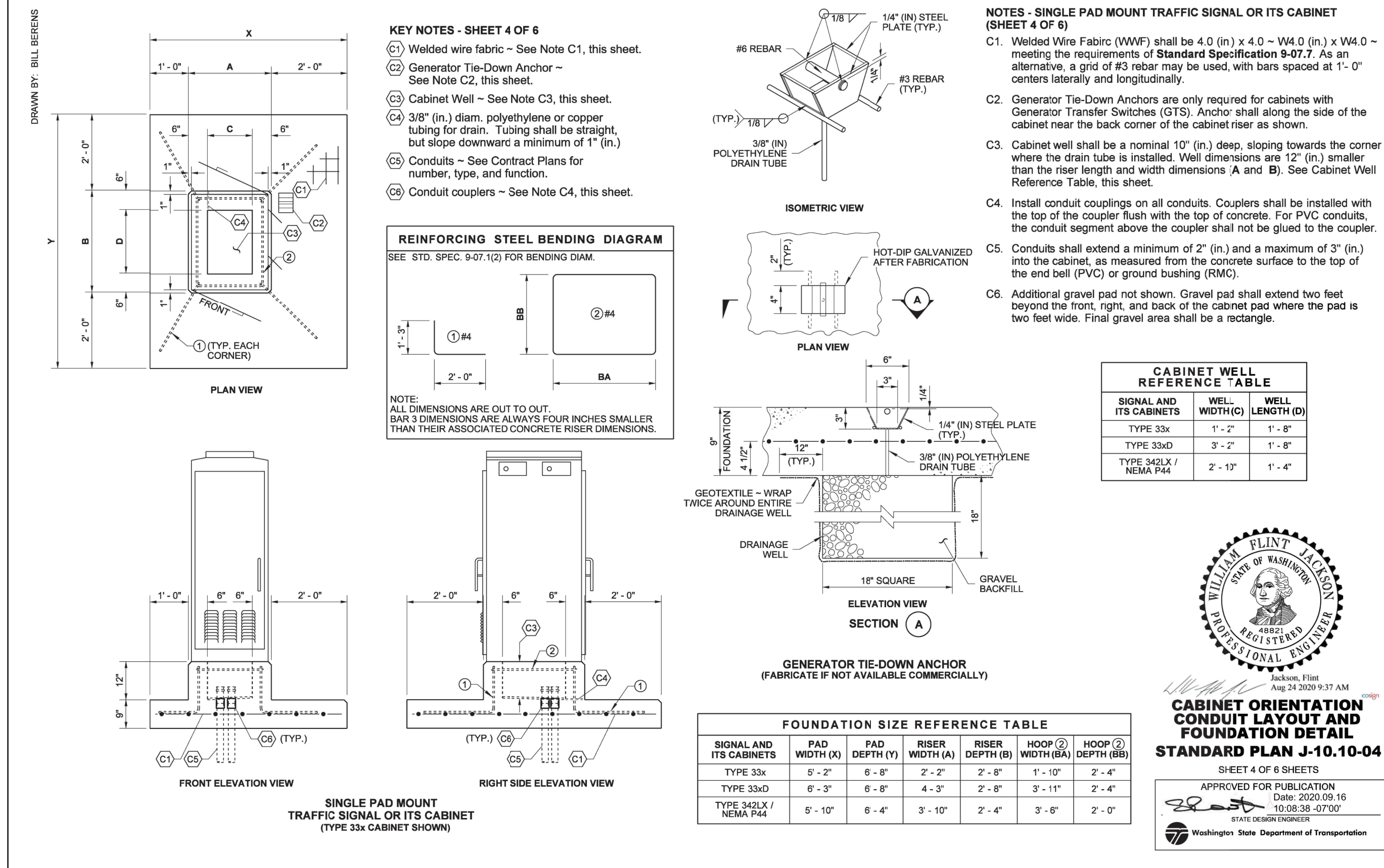
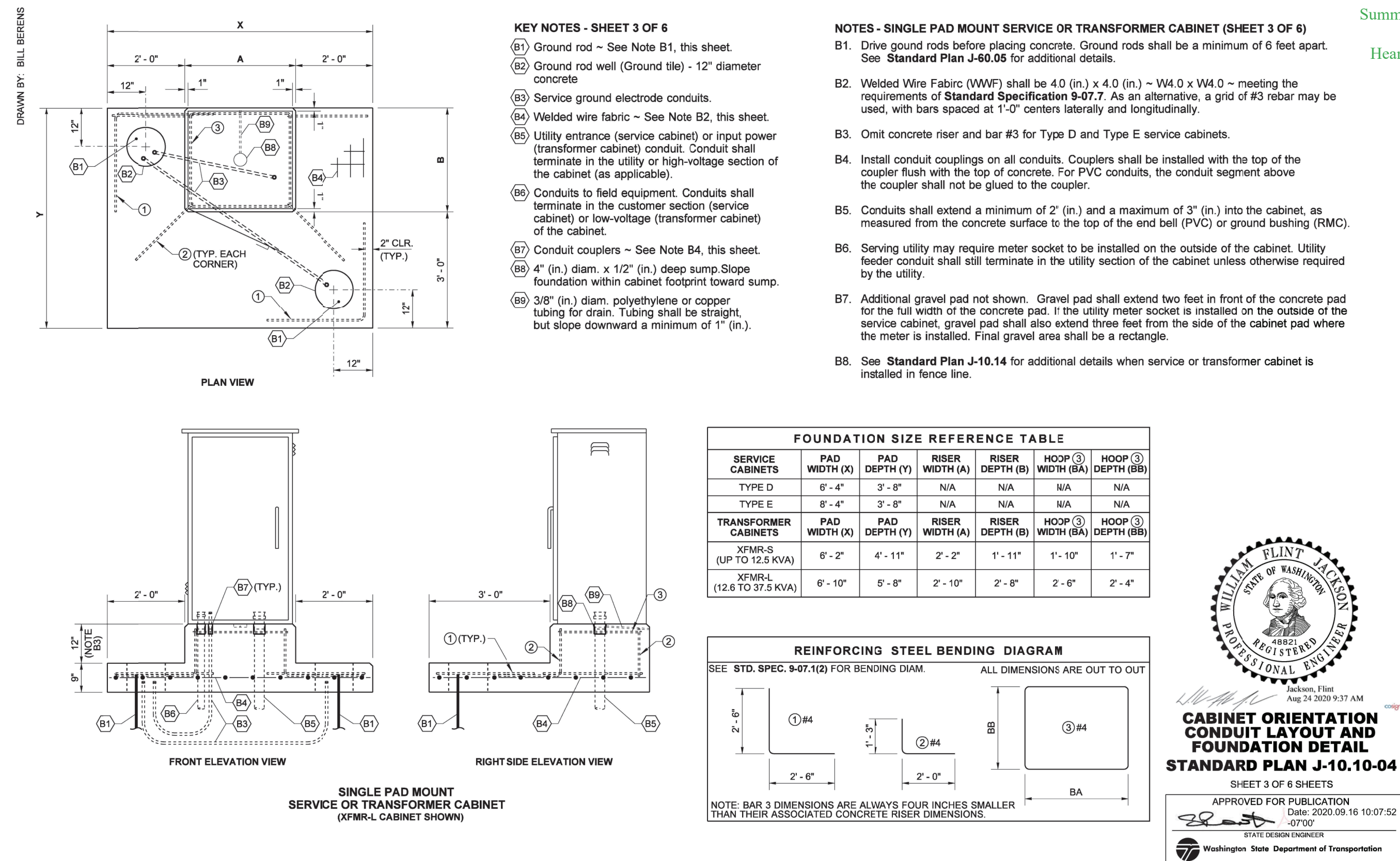
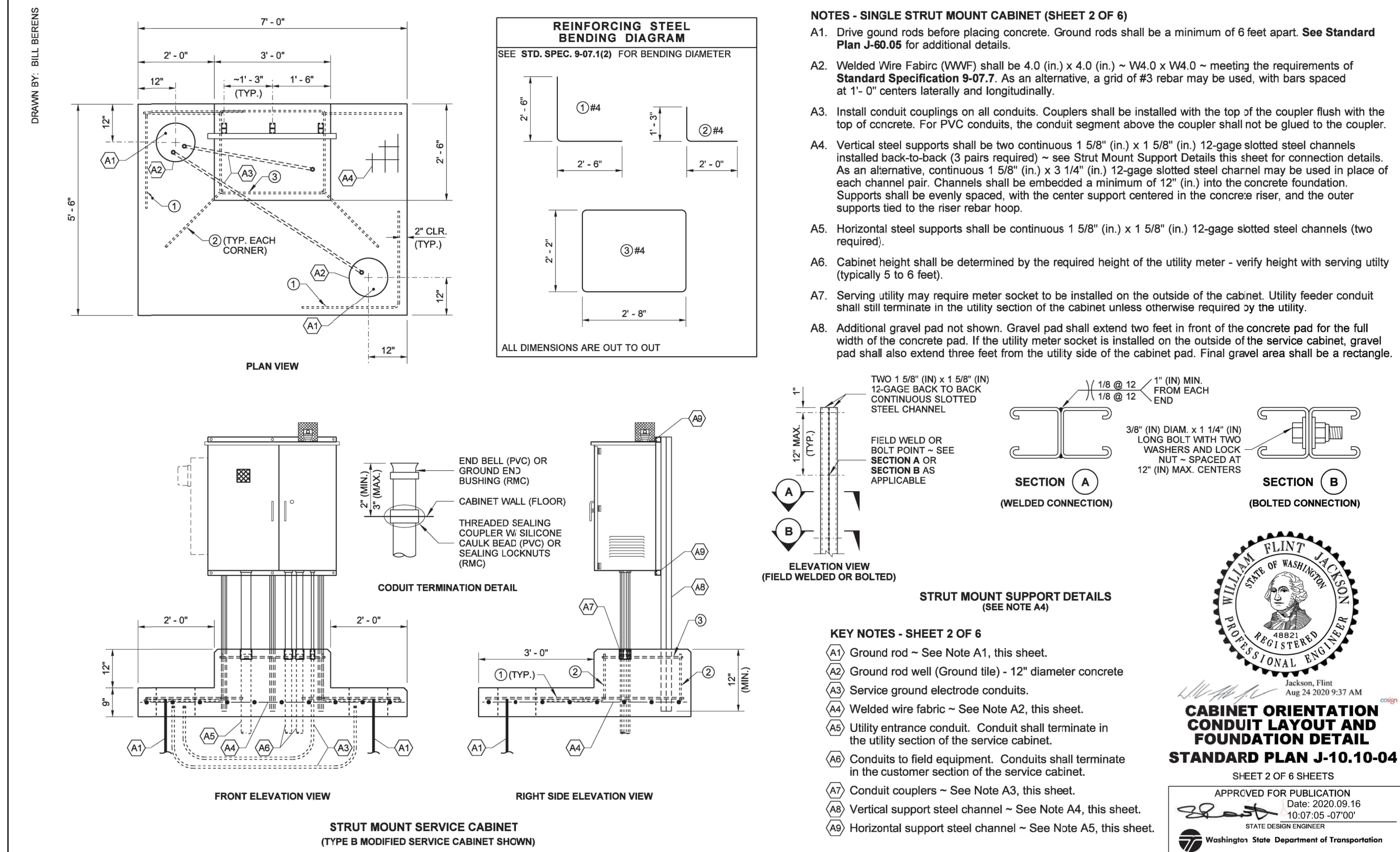
RUSH RESIDENTIAL, INC.
6622 Wollochet Drive
Gig Harbor, WA 98335



HIE HERMAN TRAFFIC ENGINEERING, INC.

11215 Southeast 220th Place, Kent, Washington 98031
253-236-4941 tel. hte@comcast.net

CITY OF GIG HARBOR	WASHINGTON
SUMMIT POINTE	IL 4
ILLUMINATION STANDARD DETAILS	SHEET 4 OF 7 SHEETS



DRAWN	RMH			
DESIGNED	RMH			
CHECKED	3/6/23 RMH			
PROJ. ENGR.				
DRAWING FILE	IL_rev1.DWG			
	DATE	REVISION	BY	APP'D

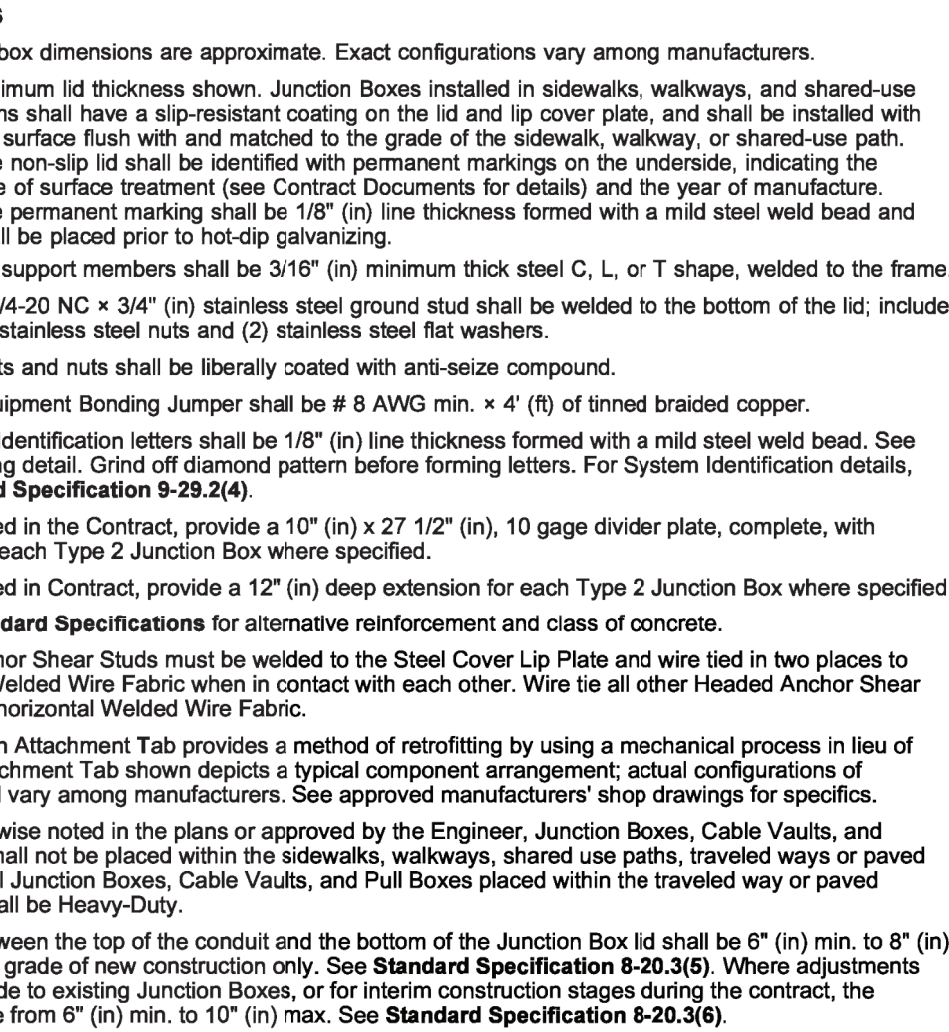
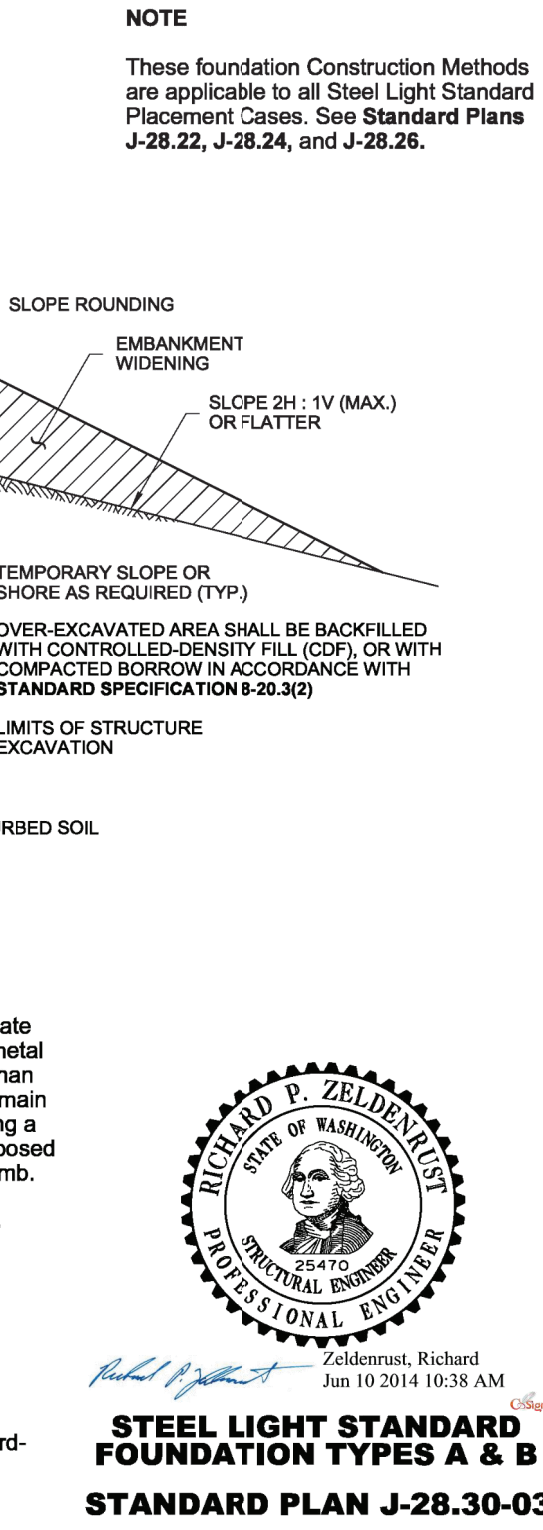
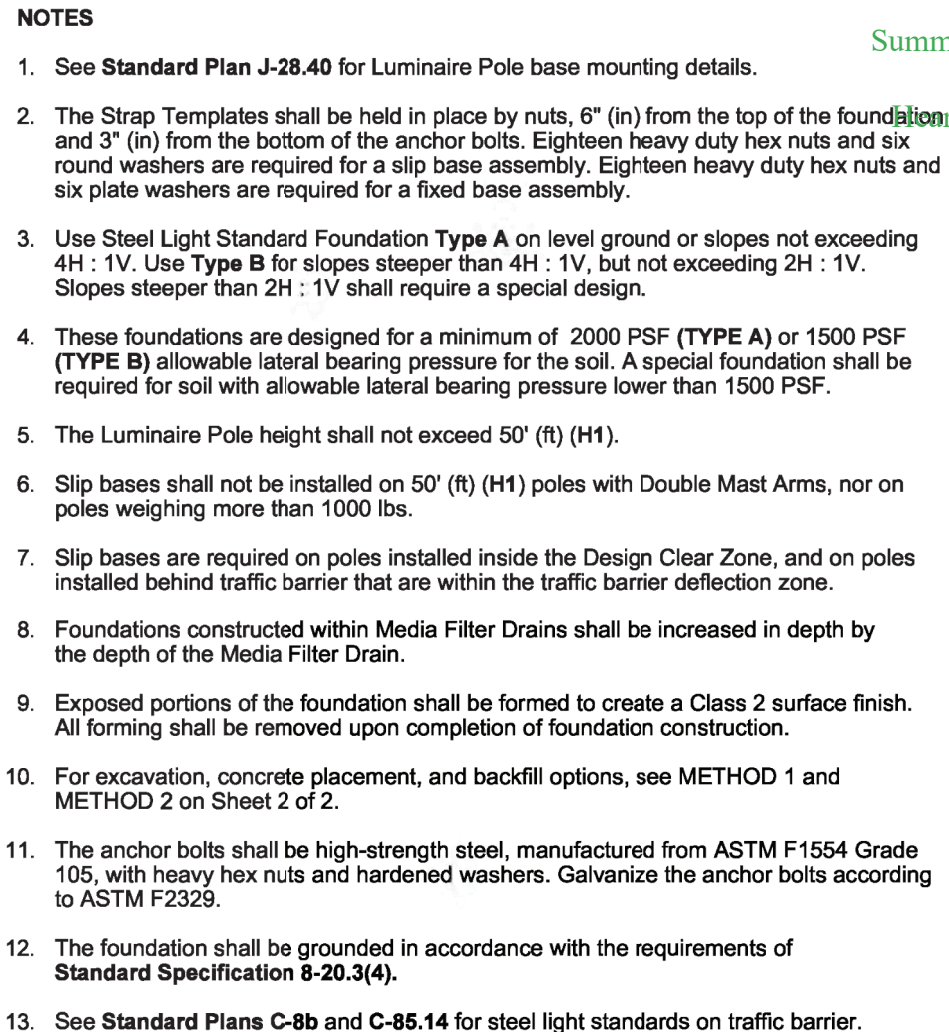
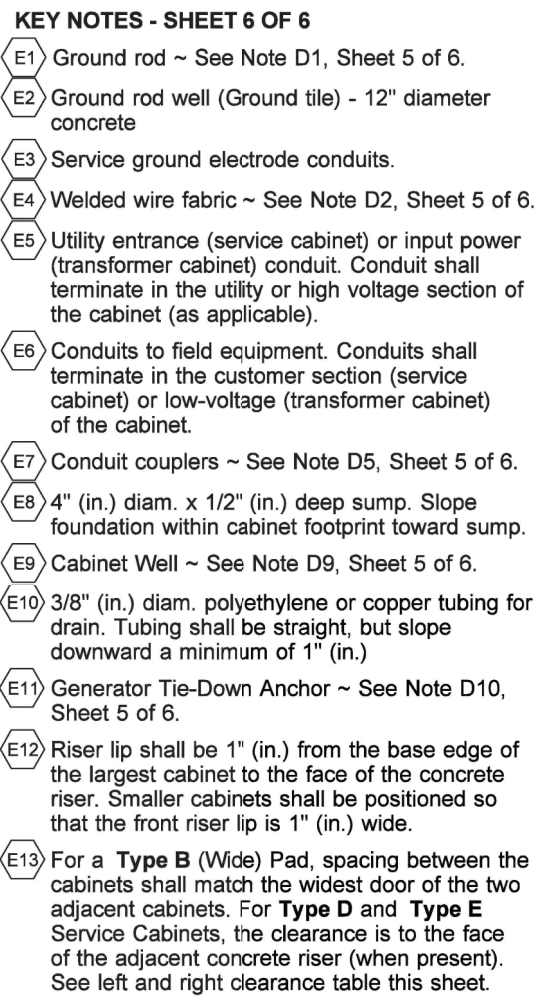
FOR:

RUSH RESIDENTIAL, INC.
6622 Wollochet Drive
Gig Harbor, WA 98335



HTE HERMAN TRAFFIC ENGINEERING, INC.
11215 Southeast 220th Place, Kent, Washington 98031
253-236-4941 tel. hte@comcast.net

CITY OF GIG HARBOR	WASHINGTON	IL5 SHEET 5 OF 7 SHEETS
SUMMIT POINTE		
ILLUMINATION STANDARD DETAILS		

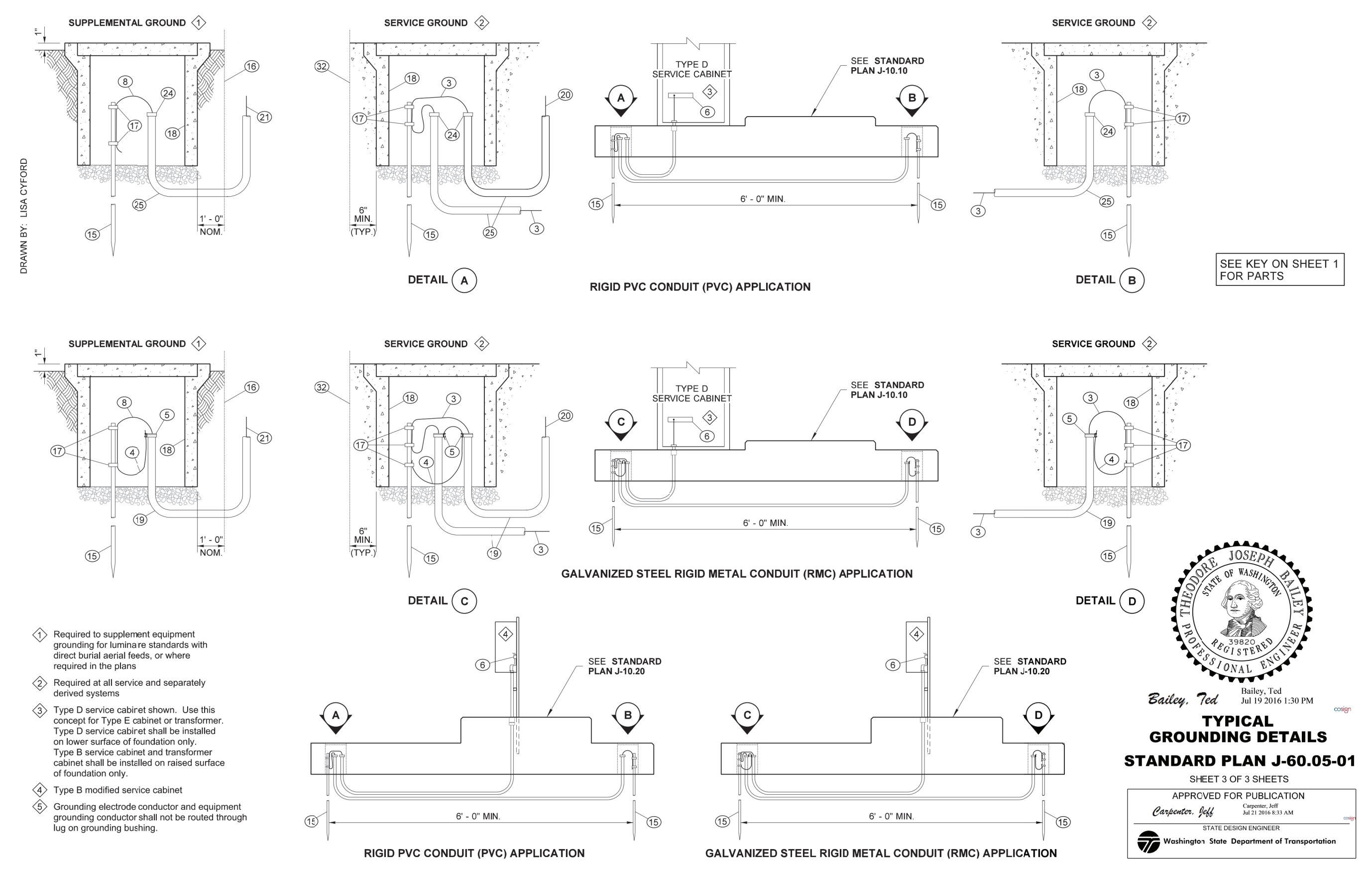
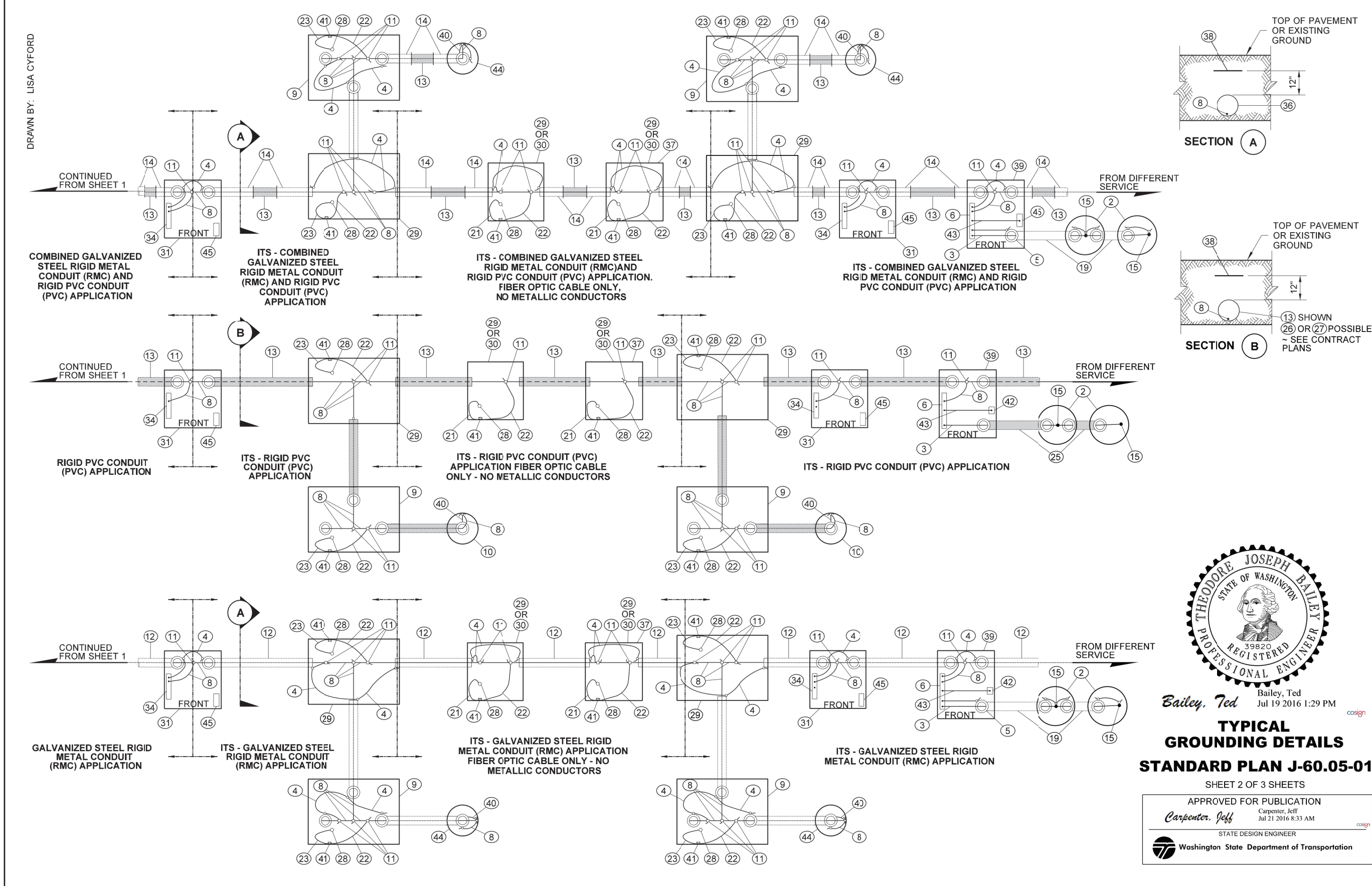
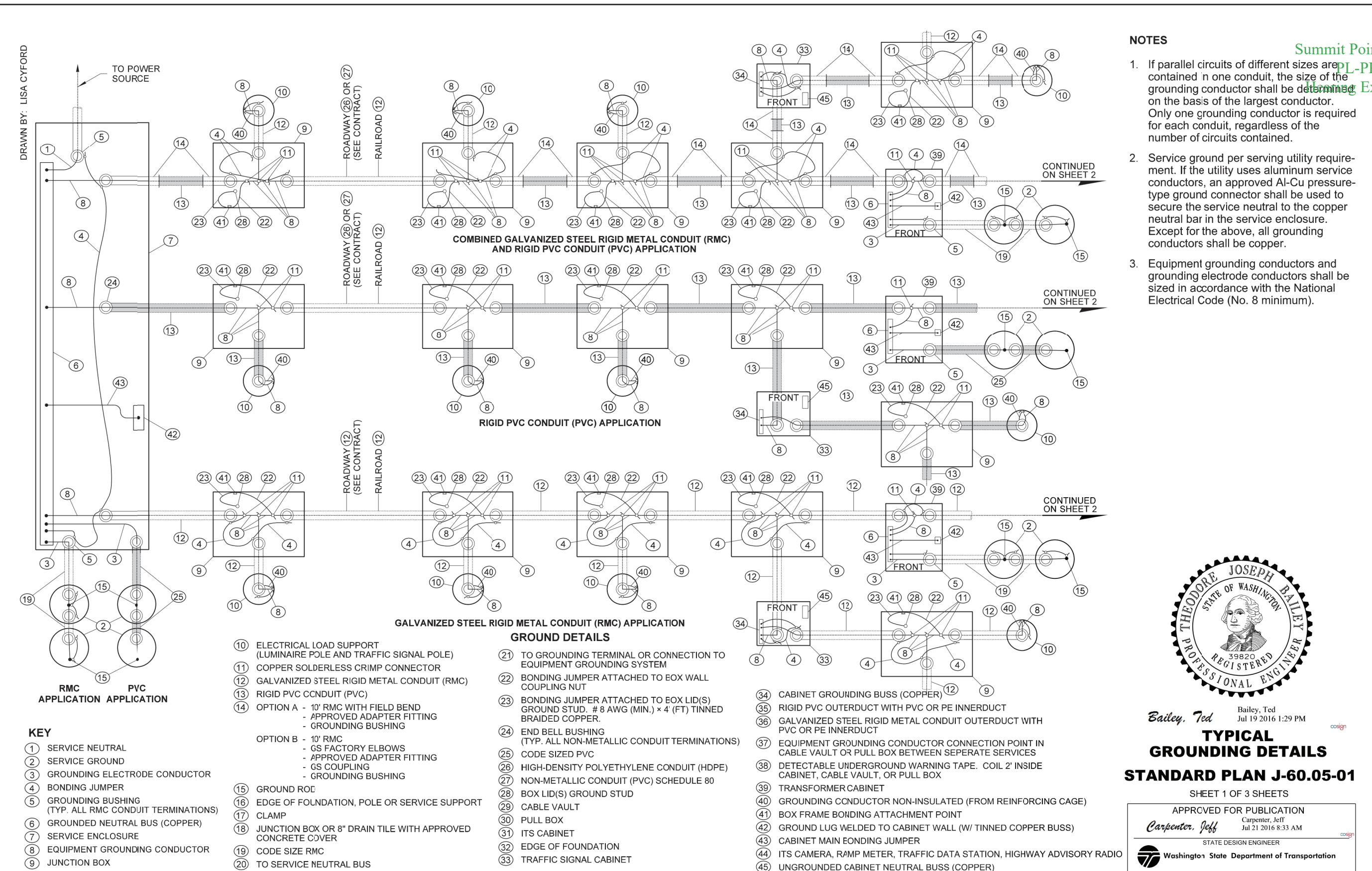
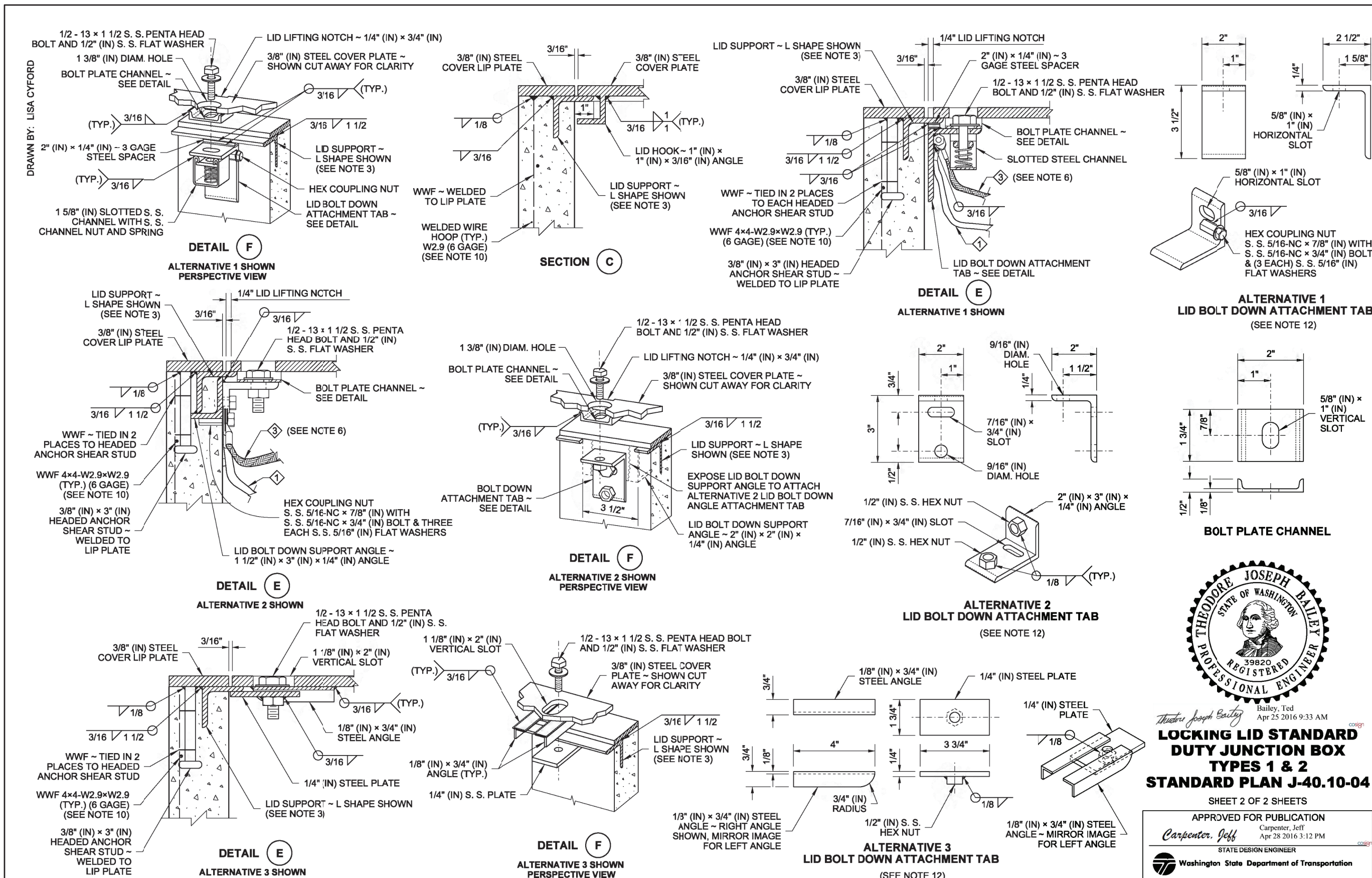


FOR:

RUSH RESIDENTIAL, INC.
6622 Wollochet Drive
Gig Harbor, WA 98335



CITY OF GIG HARBOR	WASHINGTON	IL6 SHEET 6 OF 7 SHEETS
SUMMIT POINTE	ILLUMINATION STANDARD DETAILS	



DRAWN	RMH			
DESIGNED	RMH			
CHECKED	3/6/23 RMH			
PROJ. ENGR.				
DRAWING FILE	IL_rev1.DWG			
	DATE	REVISION	BY	APP'D

FOR:

RUSH RESIDENTIAL, INC.
6622 Wollochet Drive
Gig Harbor, WA 98335



HTE HERMAN TRAFFIC ENGINEERING, INC.
11215 Southeast 220th Place, Kent, Washington 98031
253-236-4941 tel. hte@comcast.net

CITY OF GIG HARBOR	WASHINGTON	IL7
SUMMIT POINTE		
ILLUMINATION STANDARD DETAILS		SHEET 7 OF 7 SHEETS